



## SHIRE OF BEVERLEY NOTICE OF MEETING

Notice is hereby given that the next Ordinary Meeting of Council will be held in the Council Chambers, 136 Vincent Street Beverley, on Tuesday 27 October 2020. Due to COVID-19 restrictions the number of visitors is restricted. It is preferred that you email any questions (up to 3) for Council to [execassist@beverley.wa.gov.au](mailto:execassist@beverley.wa.gov.au) by 12 noon 27 October 2020. Answers to your questions will be emailed the following day. If you must attend in person, please arrive at 2.50pm to register.

### **Program**

3.00pm – 5.00pm                      Ordinary Meeting

A handwritten signature in black ink, appearing to read 'S. Gollan', written over a horizontal line.

Stephen Gollan  
Chief Executive Officer

22 October 2020

### **DISCLAIMER**

*The recommendations contained in the Agenda are subject to confirmation by Council. The Shire of Beverley warns that anyone who has any application lodged with Council must obtain and should only rely on written confirmation of the outcomes of the application following the Council meeting, and any conditions attaching to the decision made by the Council in respect of the application. No responsibility whatsoever is implied or accepted by the Shire of Beverley for any act, omission or statement or intimation occurring during a Council meeting.*



**27 October 2020**

**ORDINARY MEETING**

**AGENDA**

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## **1. OPENING**

The Chairperson to declare the meeting open.

## **2. ATTENDANCE, APOLOGIES AND LEAVE OF ABSENCE**

### **2.1 Members Present**

Cr DW Davis                      Shire President  
Cr CJ Pepper                      Deputy President  
Cr P Gogol  
Cr CJ Lawlor  
Cr SW Martin  
Cr TF McLaughlin  
Cr TWT Seed  
Cr DC White

### **2.2 Staff In Attendance**

Mr SP Gollan                      Chief Executive Officer  
Mr SP Vincent                      Manager of Works  
Mr BS de Beer                      Manager of Planning and Development Services  
Mrs A Lewis                      Executive Assistant

### **2.3 Observers And Visitors**

### **2.4 Apologies and Approved Leave of Absence**

Cr DL Brown                      Apology  
Mr SK Marshall                      Approved Leave

### **2.5 Applications for Leave of Absence**

Cr DL Brown has written to Council (30 September 2020) to apply for Leave of Absence for a 6 month period. This will take in 4 Ordinary Council Meetings; November 2020, December 2020, February 2021 and March 2021. As per the Local Government Act, today's meeting can only be considered an apology.

The Local Government Act 1995 Part 2, Division 5, Section 2.25:

- (1) A council may, by resolution, grant leave of absence, to a member.
- (2) Leave is not to be granted to a member in respect of more than 6 consecutive ordinary meetings of the council without the approval of the Minister, unless all of the meetings are within a period of 3 months.
- (3A) Leave is not to be granted in respect of —
  - (a) a meeting that has concluded; or
  - (b) the part of a meeting before the granting of leave.
- (3) The granting of the leave, or refusal to grant the leave and reasons for that refusal, is to be recorded in the minutes of the meeting.

## **OFFICER'S RECOMMENDATION**

That Council grant a Leave of Absence to Cr Darryl Brown from Wednesday 28 October 2020 until Friday 2 April 2021.



**3. DECLARATIONS OF INTEREST**

**4. RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE**

Nil

**5. PUBLIC QUESTION TIME**

**6. CONDOLENCES**

The Shire of Beverley flew the flag at half-mast, as a mark of respect to:

MOURISH

Nigel Dudley

27 September 2020

**7. CONFIRMATION OF MINUTES**

**7.1 Minutes Of The Ordinary Council Meeting Held 22 September 2020**

**OFFICER'S RECOMMENDATION**

That the Minutes of the Ordinary Council Meeting held Tuesday 22 September 2020 be confirmed.

## **7.2 Minutes Of The Bush Fire Advisory Committee Meeting Held 12 October 2020**

### **OFFICER'S RECOMMENDATION**

That the Minutes of the Bush Fire Advisory Committee Meeting held Tuesday 22 September 2020 be received and the following recommendations endorsed:

1. That future permissible dates for Westdale Dirt Drags, Westdale Rock and other similar events cannot be approved during the Gazetted Shire of Beverley Restricted Burning Times, 3 October – 14 November and 15 February – 31 March.
2. That Council investigate the supply and installation of Cel-Fi-GO mobile phone signal booster devices into every Fire Control Officers primary fire response vehicle.
3. That Mr Justin Mann and Mr Adam Smith be Gazetted as Fire Control Officers for the Shire of Beverley.

### **7.3 Minutes Of The Cropping Committee Meeting Held 14 October 2020**

#### **OFFICER'S RECOMMENDATION**

That the Minutes of the Cropping Committee Meeting held Wednesday 14 October 2020 be received.

Under separate cover

Please refer to Agenda Item 11.3

**8. TECHNICAL SERVICES**

Nil

## **9. PLANNING SERVICES**

### **9.1 Development Application – Outbuilding (Storage Shed) – 10 (Lot 168) Brooking Street**

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**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 20 October 2020  
**APPLICANT:** Ross Fernihough  
**FILE REFERENCE:** BRO 389  
**AUTHOR:** B.S. de Beer, Shire Planner  
**ATTACHMENTS:** Locality Map, Site Plan and Shed Structure

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#### **SUMMARY**

An application has been received to construct a Colorbond Outbuilding (Storage Shed), in extent 83 m<sup>2</sup> at 10 (Lot 168) Brooking Street, Beverley. It will be recommended the application be approved.

#### **BACKGROUND**

The subject site is located at 10 (Lot 168) Brooking Street, is 1.3658 ha in extent and zoned Residential R5 in terms of the Shire of Beverley Local Planning Scheme No. 3 (LPS 3). It contains an existing dwelling and Zincalume Outbuilding, in extent approx. 55 m<sup>2</sup> (8.6 m x 6.4 m).

The proposal for an additional Outbuilding requires departure from the Shire's Outbuilding Policy on the following matters:

- In terms of the Shire's Outbuilding Policy (Policy), the maximum wall height of any outbuilding on a property in this zone is to be 3.0 m, whereas the wall height of the new shed is proposed to be 3.6 m;
- The maximum roof height required by the Policy is 4 m. As a result of the proposed increased wall height the proposed roof height is 4.393 m;
- The maximum individual area of an Outbuilding is 75 m<sup>2</sup> in the Policy, whereas the proposed Outbuilding is approx. 83 m<sup>2</sup> in size;
- The maximum total area of all outbuildings in this zone is 100 m<sup>2</sup> as per the Policy. The combined total of the existing Outbuilding and the proposed Outbuilding will be 138 m<sup>2</sup>.

The applicant made the following submission with the application:

#### *1. Wall and Apex height*

*Our wall height is 3600mm so that we can store our caravan inside the shed when it is not being used, our caravan overall height is 3400mm. Unfortunately due to the wall height being 3600mm this means the apex height is 4393mm due to truss design.*

#### *2. Shed size*

*The overall size of the shed is 82.8m<sup>2</sup> which is 7.8m<sup>2</sup> over the policy limit size. We require the shed to be this size to accommodate our caravan two Vintage cars and our daily use vehicles as well as a small area to use as storage and a work area.*

*It should be noted that the original structures on the site include an old machinery shed which is only enclosed on two sides and has no floor, we would like to retain this as is so as to be in keeping with the restoration project on the house, it is our opinion that the house and shed have some historical value and should be kept intact.*

## **COMMENT**

When considering the proposed departure beyond the parameters as set by the Outbuilding Policy, Shire planner is of the opinion that the following aspects of the development should be taken into consideration:

- a) The specific siting of the Outbuilding on the property;
- b) The general character of the immediate area;
- c) The proposed use of the Outbuilding;
- d) The size of the subject property.

It is the opinion that the proposed siting of the Outbuilding at the subject property is such that it will not have any negative impact on the amenity of the surrounding area. The existing landscaping and the location of the house on the subject property will effectively screen the development so as to mitigate any perceived negative impact that the proposed development might have. It is considered that the proposed development will be in pace with the character of the area.

It is also considered a better planning outcome to have sufficient under-roof storage available on a property as opposed to storage of items outside which could potentially negatively affect the amenity of an area.

Given the above site specific considerations and the size of the property it is not anticipated that the granting of Planning Approval for this application will create an undesirable precedent.

The proposal complies with other aspects of the outbuilding policy.

## **CONSULTATION**

No consultation was deemed required.

## **STATUTORY ENVIRONMENT**

The application may be approved under the Shire of Beverley's Local Planning Scheme No. 3.

## **FINANCIAL IMPLICATIONS**

There are no financial implications relative to this application.

## **STRATEGIC IMPLICATIONS**

There are no strategic implications relative to this application.

## **POLICY IMPLICATIONS**

There are no policy implications relative to this application.

## **VOTING REQUIREMENT**

Simple Majority

## **OFFICER'S RECOMMENDATION**

That Council resolve to grant planning approval for an Outbuilding (Storage Shed) at 10 (Lot 168) Brooking Street, Beverley, subject to the following conditions and advice notes:

**Conditions:**

1. Development shall be carried out only in accordance with the terms of the application as approved herein and any approved plan, prepared by the applicant and endorsed by Council's Shire Planner.
2. The outbuilding shall not be used for human habitation, commercial or industrial purposes.

**Advice Notes:**

- Note 1: If the development the subject of this approval is not substantially commenced within a period of 2 years, or another period specified in the approval after the date of determination, the approval will lapse and be of no further effect.
- Note 2: Where an approval has so lapsed, no development shall be carried out without the further approval of the local government having first been sought and obtained.
- Note 3: Nothing in the approval or these conditions shall excuse compliance with all relevant written laws in the commencement and carrying out of the development.
- Note 4: The applicant is advised a building permit is required prior to commencement of any building works.
- Note 5: If the Outbuilding is to be used for the collection of rainwater for human consumption, all cladding and other material associated with water collection shall comply with Australian Standard 4020 (Products for use in contact with drinking water).
- Note 6: If an applicant is aggrieved by this decision there is a right of review by the State Administrative Tribunal in accordance with the *Planning and Development Act 2005* Part 14. An application must be made within 28 days of the determination.



Attachment 9.1



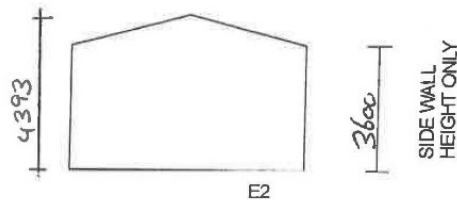
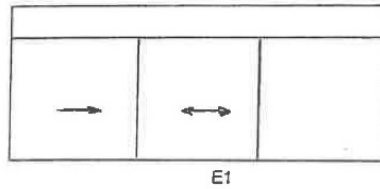
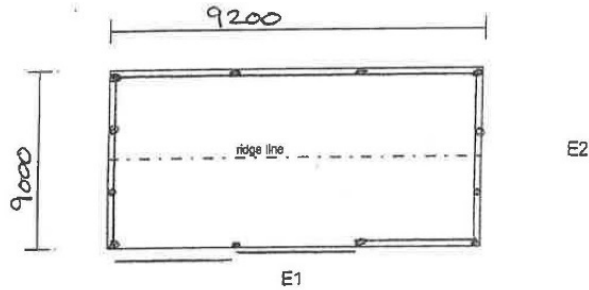


Attachment 9.1



18 Keates road Armadale WA 6112 ph 9497 8832 | info@coastlinesheds.com.au | www.coastline sheds.com.au

DRAWINGS | IN CONJUNCTION WITH QUOTE FOR: ROSS FERNIHOUGH



Notes:  
pa doors or windows can be placed anywhere on the day of installation.  
Wall sheeting is a vertical orientation and Bolt Down Shed, fixings into concrete are NOT supplied by Coastline  
Standard finished apply, customer to advise if special coating is required.

**Legend:**  
● = column  
— = enclosed wall  
↔ = sliding door  
↑ = roller door

| Truss Design   |  | subject to final engineering   |  |
|--|--|--|--|
| <input checked="" type="checkbox"/> angle iron truss | <input type="checkbox"/> RHS end truss | <input type="checkbox"/> skillion portal frame   | <input type="checkbox"/> Portal Frame                                    |
| Schedule   | Material                               | Schedule   | Material   |
| Truss Chords   | 50x50x5 ANGLE                          | Sheeting Roof  | 0.42 BMT / 0.47 TCT standard steel sheets u.n.o.                         |
| Columns - side wall                                  | 75x75 SHS                              | Sheeting Walls   | 0.42 BMT / 0.47 TCT standard steel sheets u.n.o.                         |
| Columns - gable wall                                 | 75x75 SHS                              | Roof Pitch   | degree   |
| Wall Purlins   | 90x40x1.0 Unispan                      | Wind Region  | Region A, terrain cat 2 VR = 45m/s or Region B, terrain cat 2 VR = 57m/s |
| Roof Purlins (if different)                          | 11 - 11 - 11                           | DESIGN CRITERIA  |  |
| Wind Bracing (wall)                                  | 50x3 FL                                | 1. DEAD AND LIVE LOADS IN ACCORDANCE WITH AS1170.1   |  |
| Wind Bracing (roof)                                  | 50x1.2 Strap as per engineering        | 2. WIND LOADS IN ACCORDANCE WITH AS1170.3-2011   |  |
|  |  | WIND REGION A - TERRAIN CATEGORY 2 (Mz = 0.91 d, Ma = 1.0 e, Mb = 1.0f)  |  |
|  |  | 3. SITE SOIL CLASSIFICATION A, S, OR M IN ACCORDANCE WITH AS2870   |  |
|  |  | 4. MIN. CONSTRUCTION FOR SAND FILLED FOUNDATIONS TO BE 5 BLOWS PER 300mm (WHEN TESTED USING THE STANDARD PERTH SAND PENETROMETER) FOR THE FULL DEPTH OF THE FILL OR FOR 750mm MIN. |  |

## **9.2 Amendment to Existing Development Approval: Dale Grain Reveal Site – Lot 20 on Plan 76635, Westdale Road**

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**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 21 October 2020  
**APPLICANT:** Cooperative Bulk Handling Limited  
**FILE REFERENCE:** WES 51726  
**AUTHOR:** B S de Beer, Shire Planner  
**ATTACHMENTS:** Application Letter, Revised Drawings, Revised Bushfire Management Plan (under separate cover)

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### **SUMMARY**

A request to amend an existing Development Approval had been received from Cooperative Bulk Handling Limited (CBH) for proposed development on Lot 20 on Plan 76635, Westdale Road - pursuant to Clause 77(1)(c) of the *Planning and Development (Local Planning Schemes) Regulations, 2015*. The application will be recommended for approval.

### **BACKGROUND**

Council at its 26 November 2019 meeting granted conditional development approval for a Grain Reveal facility and extension thereof (improved truck weighing, grain sampling and storage facilities).

The Officer's recommendation read as follows:

*That Council resolve to determine that the use is consistent with the objectives of the 'Rural' zone and grant planning approval for a Grain Reveal Facility and the extension thereof on Lot 20 on Plan 76635, Westdale Road, Beverley, subject to the following conditions and advice notes:*

#### **Conditions:**

- 1. Development shall be carried out only in accordance with the terms of the application as approved herein and any approved plan, prepared by the applicant and endorsed by Council's Shire Planner.*
- 2. The recommendations in the Bushfire Management Plan shall be adhered to on an ongoing basis.*
- 3. Prior to commencement of the proposed extension works, screening vegetation shall be planted and maintained on a section of the subject lot, adjacent to the northern boundary of 15 (Lot 19) Mann Avenue, to the satisfaction of the Shire.*
- 4. Where applicable, approval shall be obtained from the relevant authorities for the clearing of native vegetation prior to commencement of works.*
- 5. Appropriately sited and worded signage shall be installed to manage operational vehicle marshalling associated with the operations of the facility, to the satisfaction of the Shire.*

#### **Advice Notes:**

*Note 1: If the development the subject of this approval is not substantially commenced within a period of 2 years, or another period specified in the approval after the date of determination, the approval will lapse and be of no further effect.*

*Note 2: Where an approval has so lapsed, no development shall be carried out without the further approval of the local government having first been sought and obtained.*

- Note 3: *Nothing in the approval or these conditions shall excuse compliance with all relevant written laws in the commencement and carrying out of the development.*
- Note 4: *The applicant is advised a building permit is required prior to commencement of any building works.*
- Note 5: *The applicant is advised to comply with the Building Code of Australia for all existing buildings and structures, where applicable, on the subject property.*
- Note 6: *The applicant is advised to consider any approvals, including clearing of native vegetation, required from the Department of Water and Environment Regulation for the extension & operation of the facility.*
- Note 7: *If an applicant is aggrieved by this decision there is a right of review by the State Administrative Tribunal in accordance with the Planning and Development Act 2005 Part 14. An application must be made within 28 days of the determination.*

In support of the application for an Amendment to the existing Development Approval, the applicant made the following submission:

*A review of the project scope of work was undertaken resulting in the proposal to improve truck weighing, grain sampling and storage facilities to be undertaken within the existing site.*

*I request an amendment to the development approval under section 77(1)(c) of the Planning and Development (Local Planning Schemes) Regulations 2015.*

*Proposed development now includes the following:*

- *Construct a new section of internal road to connect existing internal roads.*
- *Remove the existing weighbridge and hut and sample platform/hut.*
- *Install a 36m long weighbridge and hut within the existing internal road.*
- *Install a slightly larger sample platform/hut within the existing and new internal road.*
- *Remove the 1.2m high wall frames from existing open bulkhead OBH/01.*
- *Cement stabilise a 2.2 m wide strip of gravel to 200 mm depth and compact where higher open bulkhead wall frames are to be placed.*
- *Install 1.8 m high wall frames in the same location of open bulkhead OBH/01 extending one end by 8 meters.*

*Please find attached the following documentation and drawings for assessment:*

- *Conceptual layout option 12 (site plan) drawing 432-ENG-CI-DCO-0002\_A.*
- *General arrangement drawings STD-051-0000-R3, 0007\_R0 and 0009\_R1 for the sample platform/hut.*
- *Open bulkhead wall frame drawings S119-ENG-ST-DGA-0003-R0 sheets 1 to 9 of 9.*
- *Section and details drawing S000-ENG-CI-STD-0002-R3 for cement stabilisation underneath the wall frames.*
- *Consultant's updated bushfire management plan.*

## **COMMENT**

The application for amendment to the existing Development Approval will be recommended for approval. The amended development proposal will result in a smaller development footprint than what was originally proposed during the previous application.

The Conditions of Approval and Advice Notes for the original application (dated 26 November 2019) are still in force and will be recommended be reiterated through this application process.

### **CONSULTATION**

No consultation was considered required for this application as it is considered a minor amendment to the established Development Approval pursuant to Clause 77(3) of the *Planning and Development (Local Planning Schemes) Regulations, 2015*.

### **STATUTORY ENVIRONMENT**

Shire of Beverley Local Planning Scheme No. 3.

### **FINANCIAL IMPLICATIONS**

There are no financial implications relative to this application.

### **STRATEGIC IMPLICATIONS**

There are no strategic implications relative to this application.

### **POLICY IMPLICATIONS**

There are no policy implications relative to this application.

### **VOTING REQUIREMENTS**

Absolute Majority

### **OFFICER'S RECOMMENDATION**

That Council resolve to grant approval for an amendment to the existing Development Approval dated 26 November 2019 pursuant to Clause 77(1)(c) *Planning and Development (Local Planning Schemes) Regulations, 2015*, subject to the following conditions and advice notes:

#### **Conditions:**

1. Development shall be carried out only in accordance with the terms of the application as approved herein and any approved plan, prepared by the applicant and endorsed by Council's Shire Planner.
2. All Conditions and Advice Notes imposed during Council's 26 November 2019 resolution are to be construed as being applicable to this approval.

#### **Advice Notes:**

Note 1: Nothing in the approval or these conditions shall excuse compliance with all relevant written laws in the commencement and carrying out of the development.

Note 2: The applicant is advised a building permit is required for all structures on the property and prior to commencement of any building works.

Note 3: If an applicant is aggrieved by this decision there is a right of review by the State Administrative Tribunal in accordance with the *Planning and Development Act 2005* Part 14. An application must be made within 28 days of the determination.

**10. BUILDING SERVICES & ENVIRONMENTAL HEALTH SERVICES**

Nil



## **11. FINANCE**

### **11.1 Monthly Financial Report**

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**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 15 October 2020  
**APPLICANT:** N/A  
**FILE REFERENCE:** N/A  
**AUTHOR:** S.K. Marshall, Deputy Chief Executive Officer  
**ATTACHMENTS:** September 2020 Financial Reports

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#### **SUMMARY**

Council to consider accepting the financial report for the period ending 30 September 2020.

#### **BACKGROUND**

There is a statutory requirement that the Local Government is to prepare, each month, a statement of financial activity reporting on sources and applications of its funds and to present the statement to Council.

Council adopted a budget variance reporting parameter of 10% on budgeted items of \$10,000 or greater at the July 2020 Ordinary Meeting, item 11.3.

#### **COMMENT**

The monthly financial reports for the period ending 30 September 2020 have been provided and include:

- Financial Activity Statement;
- Statement of Net Current Assets;
- Statement of Financial Position; and
- Supplementary information, including;
  - Operating Statement by Nature and Type;
  - Road Maintenance Report; and
  - Investment of Surplus Funds Report.

#### **STATUTORY ENVIRONMENT**

Section 6.4(1) of the *Local Government Act* provides that a local government is to prepare an annual financial report for the preceding financial year and such other financial reports as are prescribed.

Regulation 34 of the *Local Government (Financial Management) Regulations* requires a Statement of Financial Activity to be prepared each month which is to contain the following details:

- (a) annual budget estimates;
- (b) budget estimates to the end of the month;
- (c) actual amount of expenditure and revenue;
- (d) material variances between comparable amounts in (b) and (c) above; and
- (e) the net current assets at the end of the month to which the statement relates (i.e. surplus / (deficit) position).



The Statement is to be accompanied by:

- (a) explanation of the composition of net current assets, less committed assets and restricted assets;
- (b) explanation of the material variances; and
- (c) such other information considered relevant by the local government.

#### **FINANCIAL IMPLICATIONS**

All revenue and expenditure, unless disclosed in the notes to material variances, are as per the 2020/21 Budget.

#### **STRATEGIC IMPLICATIONS**

Goal 12 – Council leads the organisation and engages with community in an accountable and professional manner.

#### **POLICY IMPLICATIONS**

AF004 – Investing Surplus Funds

#### **VOTING REQUIREMENTS**

Simple Majority

#### **OFFICER'S RECOMMENDATION**

That the monthly financial report for the month of September 2020 be accepted and material variances be noted.

**SHIRE OF BEVERLEY  
STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD ENDING  
30 September 2020**

| Description                                | Budget<br>2020/21     | YTD Budget<br>2020/21 | YTD Actual<br>2020/21 | YTD Variance      | Notes To Material Variances  |
|--|-----------------------|-----------------------|-----------------------|-------------------|--|
| <b>Operating Revenue</b>                   |                       |                       |                       |                   |  |
| General Purpose Funding                    | 3,260,334.00          | 2,912,346.00          | 2,911,141.84          | (1,204.16)        |  |
| Governance                                 | 1,100.00              | 0.00                  | 0.91                  | 0.91              |  |
| Law, Order & Public Safety                 | 299,857.00            | 37,950.00             | 37,940.00             | (10.00)           |  |
| Health                                     | 300.00                | 48.00                 | 200.00                | 152.00            |  |
| Education & Welfare                        | 0.00                  | 0.00                  | 0.00                  | 0.00              |  |
| Housing                                    | 137,492.00            | 29,265.00             | 32,622.57             | 3,357.57          |  |
| Community Amenities                        | 206,278.00            | 190,362.00            | 192,047.33            | 1,685.33          |  |
| Recreation & Culture                       | 895,083.00            | 203,272.00            | 626,169.97            | 422,897.97        | Drought Communities Program funding for YAA \$420,000  |
| Transport                                  | 2,559,656.00          | 323,285.00            | 320,596.48            | (2,688.52)        |  |
| Economic Activities                        | 119,676.00            | 29,104.00             | 108,260.69            | 79,156.69         | Drought Communities Program funding for Onsite Accommodation \$80,000  |
| Other Property & Services                  | 43,100.00             | 10,998.00             | 11,051.88             | 53.88             |  |
| <b>Total Operating Revenue</b>             | <b>7,522,876.00</b>   | <b>3,736,630.00</b>   | <b>4,240,031.67</b>   | <b>503,401.67</b> |  |
| <b>Operating Expenditure</b>               |                       |                       |                       |                   |  |
| General Purpose Funding                    | (173,512.00)          | (39,351.00)           | (40,781.75)           | (1,430.75)        |  |
| Governance                                 | (254,954.00)          | (71,513.00)           | (66,536.61)           | 4,976.39          |  |
| Law, Order & Public Safety                 | (417,800.00)          | (95,835.00)           | (97,558.32)           | (1,723.32)        |  |
| Health                                     | (171,727.00)          | (41,211.00)           | (38,616.26)           | 2,594.74          |  |
| Education & Welfare                        | (98,098.00)           | (26,148.00)           | (26,123.88)           | 24.12             |  |
| Housing                                    | (213,750.00)          | (56,048.00)           | (53,155.20)           | 2,892.80          |  |
| Community Amenities                        | (669,796.00)          | (181,634.00)          | (183,061.69)          | (1,427.69)        |  |
| Recreation & Culture                       | (1,512,753.00)        | (331,215.00)          | (319,315.94)          | 11,899.06         | Cornerstone Loan expense accrual reversal \$5,476 payment due in December 2020, Rec Ground maintenance \$2,154 and Function Centre maintenance \$2,462 lower than anticipated YTD. |
| Transport                                  | (2,563,701.00)        | (703,194.00)          | (700,738.77)          | 2,455.23          |  |
| Economic Activities                        | (479,909.00)          | (100,714.00)          | (93,185.78)           | 7,528.22          |  |
| Other Property & Services                  | (15,081.00)           | (1,403.00)            | 25,855.87             | 27,258.87         | PWOH & POC allocation timing versus expenditure.   |
| <b>Total Operating Expenditure</b>         | <b>(6,571,081.00)</b> | <b>(1,648,266.00)</b> | <b>(1,593,218.33)</b> | <b>55,047.67</b>  |  |
| <b>Net Operating</b>                       | <b>951,795.00</b>     | <b>2,088,364.00</b>   | <b>2,646,813.34</b>   | <b>558,449.34</b> |  |
| <b>Capital Income</b>                      |                       |                       |                       |                   |  |
| Self Supporting Loan - Principal Repayment | 17,288.00             | 0.00                  | 0.00                  | 0.00              |  |
| Proceeds from Sale of Assets               | 267,364.00            | 26,364.00             | 26,363.64             | (0.36)            |  |
| New Loan Raised                            | 2,000,000.00          | 0.00                  | 0.00                  | 0.00              |  |
| <b>Total Capital Income</b>                | <b>2,284,652.00</b>   | <b>26,364.00</b>      | <b>26,363.64</b>      | <b>(0.36)</b>     |  |

**SHIRE OF BEVERLEY  
STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD ENDING  
30 September 2020**

| Description  | Budget<br>2020/21     | YTD Budget<br>2020/21 | YTD Actual<br>2020/21 | YTD Variance      | Notes To Material Variances |
|--|-----------------------|-----------------------|-----------------------|-------------------|-----------------------------|
| <b>Capital Expenditure</b>                             |                       |                       |                       |                   |                             |
| Land and Buildings                                     | (2,061,000.00)        | (540,000.00)          | (540,195.62)          | (195.62)          |                             |
| Plant and Equipment                                    | (802,475.00)          | (95,475.00)           | (95,645.89)           | (170.89)          |                             |
| Office Furniture and Equipment                         | (15,000.00)           | 0.00                  | 0.00                  | 0.00              |                             |
| Road Construction                                      | (4,669,434.00)        | (55,516.00)           | (58,003.32)           | (2,487.32)        |                             |
| Other Infrastructure                                   | (105,835.00)          | 0.00                  | 0.00                  | 0.00              |                             |
| Land Under Control                                     | 0.00                  | 0.00                  | 0.00                  | 0.00              |                             |
| Loans - Principal Repayments                           | (137,937.00)          | (7,769.54)            | (7,769.54)            | 0.00              |                             |
|  |                       |                       |                       |                   |                             |
| <b>Total Capital Expenditure</b>                       | <b>(7,791,681.00)</b> | <b>(698,760.54)</b>   | <b>(701,614.37)</b>   | <b>(2,853.83)</b> |                             |
|  |                       |                       |                       |                   |                             |
| <b>Net Capital</b>                                     | <b>(5,507,029.00)</b> | <b>(672,396.54)</b>   | <b>(675,250.73)</b>   | <b>(2,854.19)</b> |                             |
|  |                       |                       |                       |                   |                             |
| <b>Adjustments</b>                                     |                       |                       |                       |                   |                             |
| Depreciation Written Back                              | 2,313,194.00          | 583,280.00            | 588,301.88            | 5,021.88          |                             |
| Movement in Leave Reserve Cash Balance                 | 0.00                  | 0.00                  | 0.00                  | 0.00              |                             |
| Movement in Non-Current Loan Repayments                | 0.00                  | 0.00                  | 0.00                  | 0.00              |                             |
| Movement in Non-Current SSL Income                     | 0.00                  | 0.00                  | 0.00                  | 0.00              |                             |
| Movement in Non-Current Investments                    | 0.00                  | 0.00                  | 0.00                  | 0.00              |                             |
| Movement in Non-Current LSL Provision                  | 0.00                  | 0.00                  | 0.00                  | 0.00              |                             |
| Movement in Non-Current Deferred Pensioner Rates       | 0.00                  | 0.00                  | 0.00                  | 0.00              |                             |
| (Profit)/Loss on Disposal of Assets Written Back       | (2,364.00)            | 13,636.00             | 14,632.34             | 996.34            |                             |
| Loss on Revaluation of Non-Current Assets Written Back | 0.00                  | 0.00                  | 0.00                  | 0.00              |                             |
| Rounding   | 0.00                  | 0.00                  | 0.00                  | 0.00              |                             |
| <b>Add Funding From</b>                                |                       |                       |                       |                   |                             |
| Transfer (To)/From Reserves                            | 817,971.00            | 0.00                  | 0.00                  | 0.00              |                             |
| Opening Surplus/(Deficit)                              | 1,426,433.00          | 1,426,433.00          | 1,426,433.44          | 0.44              |                             |
|  |                       |                       |                       |                   |                             |
| <b>Total Adjustments</b>                               | <b>4,555,234.00</b>   | <b>2,023,349.00</b>   | <b>2,029,367.66</b>   | <b>6,018.66</b>   |                             |
| <b>CLOSING SURPLUS/(DEFICIT)</b>                       | <b>0.00</b>           | <b>3,439,316.46</b>   | <b>4,000,930.27</b>   | <b>561,613.81</b> |                             |

**SHIRE OF BEVERLEY  
STATEMENT OF NET CURRENT ASSETS  
FOR THE PERIOD ENDING  
30 September 2020**

| Description                            | YTD Actual<br>2019/20 | YTD Actual<br>2020/21 |
|--|-----------------------|-----------------------|
| <b>Current Assets</b>                  |                       |                       |
| Cash at Bank                           | 904,115.25            | 3,266,680.60          |
| Cash - Unrestricted Investments        | 711,099.95            | 409,808.19            |
| Cash - Restricted Reserves             | 2,582,024.26          | 2,582,024.26          |
| Cash on Hand                           | 300.00                | 300.00                |
| Accounts Receivable                    | 416,886.40            | 770,717.66            |
| Prepaid Expenses                       | 0.00                  | 0.00                  |
| Self Supporting Loan - Current         | 17,288.32             | 17,288.32             |
| Inventory - Fuel                       | 9,344.99              | 11,513.07             |
|  |                       |                       |
| <b>Total Current Assets</b>            | <b>4,641,059.17</b>   | <b>7,058,332.10</b>   |
|  |                       |                       |
| <b>Current Liabilities</b>             |                       |                       |
| Accounts Payable                       | (432,823.43)          | (275,599.53)          |
| Loan Liability - Current               | (137,938.08)          | (130,168.54)          |
| Annual Leave Liability - Current       | (198,907.44)          | (198,907.44)          |
| Long Service Leave Liability - Current | (153,203.22)          | (153,203.22)          |
| Doubtful Debts                         | 0.00                  | 0.00                  |
|  |                       |                       |
| <b>Total Current Liabilities</b>       | <b>(922,872.17)</b>   | <b>(757,878.73)</b>   |
|  |                       |                       |
| <b>Adjustments</b>                     |                       |                       |
| Less Restricted Reserves               | (2,582,024.26)        | (2,582,024.26)        |
| Less Self Supporting Loan Income       | (17,288.32)           | (17,288.32)           |
| Add Leave Reserves - Cash Backed       | 169,620.94            | 169,620.94            |
| Add Loan Principal Expense             | 137,938.08            | 130,168.54            |
|  |                       |                       |
| <b>Total Adjustments</b>               | <b>(2,291,753.56)</b> | <b>(2,299,523.10)</b> |
|  |                       |                       |
| <b>NET CURRENT ASSETS</b>              | <b>1,426,433.44</b>   | <b>4,000,930.27</b>   |

**SHIRE OF BEVERLEY  
STATEMENT OF FINANCIAL POSITION  
AS AT  
30 September 2020**

| Description                                | Actual<br>2019/20     | YTD Actual<br>2020/21 | Movement            |
|--|-----------------------|-----------------------|---------------------|
| <b>Current Assets</b>                      |                       |                       |                     |
| Cash and Cash Equivalents                  | 4,197,539.46          | 6,258,813.05          | 2,061,273.59        |
| Accounts Receivable                        | 399,091.49            | 752,922.75            | 353,831.26          |
| Contract Asset - Current                   | 17,794.91             | 17,794.91             | 0.00                |
| Prepaid Expenses                           | 0.00                  | 0.00                  | 0.00                |
| Self Supporting Loan - Current             | 17,288.32             | 17,288.32             | 0.00                |
| Inventory                                  | 9,344.99              | 11,513.07             | 2,168.08            |
| <b>Total Current Assets</b>                | <b>4,641,059.17</b>   | <b>7,058,332.10</b>   | <b>2,417,272.93</b> |
| <b>Current Liabilities</b>                 |                       |                       |                     |
| Accounts Payable                           | (432,823.43)          | (275,599.53)          | 157,223.90          |
| Contract Liability - Current               | 0.00                  | 0.00                  | 0.00                |
| Loan Liability - Current                   | (137,938.08)          | (130,168.54)          | 7,769.54            |
| Lease Liability - Current                  | 0.00                  | 0.00                  | 0.00                |
| Annual Leave Liability - Current           | (198,907.44)          | (198,907.44)          | 0.00                |
| Long Service Leave Liability - Current     | (153,203.22)          | (153,203.22)          | 0.00                |
| Doubtful Debts                             | 0.00                  | 0.00                  | 0.00                |
| <b>Total Current Liabilities</b>           | <b>(922,872.17)</b>   | <b>(757,878.73)</b>   | <b>164,993.44</b>   |
| <b>Non-Current Assets</b>                  |                       |                       |                     |
| Non-Current Debtors                        | 125,188.45            | 125,188.45            | 0.00                |
| Non-Current Investments                    | 53,415.80             | 53,415.80             | 0.00                |
| Land and Buildings                         | 20,958,439.69         | 21,330,504.40         | 372,064.71          |
| Plant and Equipment                        | 2,099,798.37          | 2,080,616.94          | (19,181.43)         |
| Furniture and Equipment                    | 110,244.48            | 106,330.85            | (3,913.63)          |
| Infrastructure                             | 60,366,533.32         | 60,082,110.64         | (284,422.68)        |
| Self Supporting Loan - Non Current         | 25,253.18             | 25,253.18             | 0.00                |
| <b>Total Non-Current Assets</b>            | <b>83,738,873.29</b>  | <b>83,803,420.26</b>  | <b>64,546.97</b>    |
| <b>Non-Current Liabilities</b>             |                       |                       |                     |
| Loan Liability - Non Current               | (1,379,225.02)        | (1,379,225.02)        | 0.00                |
| Lease Liability - Non Current              | 0.00                  | 0.00                  | 0.00                |
| Annual Leave - Non Current                 | 0.00                  | 0.00                  | 0.00                |
| Long Service Leave Liability - Non Current | (67,240.88)           | (67,240.88)           | 0.00                |
| <b>Total Non Current Liabilities</b>       | <b>(1,446,465.90)</b> | <b>(1,446,465.90)</b> | <b>0.00</b>         |
| <b>Net Assets</b>                          | <b>86,010,594.39</b>  | <b>88,657,407.73</b>  | <b>2,646,813.34</b> |

**SHIRE OF BEVERLEY  
STATEMENT OF FINANCIAL POSITION  
AS AT  
30 September 2020**

| Description            | Actual<br>2019/20      | YTD Actual<br>2020/21  | Movement              |
|------------------------|------------------------|------------------------|-----------------------|
| <b>Equity</b>          |                        |                        |                       |
| Accumulated Surplus    | (43,427,040.81)        | (46,073,854.15)        | (2,646,813.34)        |
| Reserves - Cash Backed | (2,582,024.26)         | (2,582,024.26)         | 0.00                  |
| Reserve - Revaluations | (40,001,529.32)        | (40,001,529.32)        | 0.00                  |
|                        |                        |                        |                       |
| <b>Total Equity</b>    | <b>(86,010,594.39)</b> | <b>(88,657,407.73)</b> | <b>(2,646,813.34)</b> |

| <b>SHIRE OF BEVERLEY<br/>OPERATING STATEMENT BY NATURE &amp; TYPE<br/>FOR THE PERIOD ENDING<br/>30 September 2020</b> |                           |                               |
|---|---------------------------|-------------------------------|
| <b>Description</b>  | <b>Budget<br/>2020/21</b> | <b>YTD Actual<br/>2020/21</b> |
| <b>Income</b>   |                           |                               |
| Rates   | 2,669,880.00              | 2,793,287.11                  |
| Operating Grants, Subsidies and Contributions   | 2,271,419.00              | 301,847.77                    |
| Profit On Asset Disposal  | 12,000.00                 | 0.00                          |
| Service Charges   | 0.00                      | 0.00                          |
| Fees & Charges  | 523,761.00                | 274,710.23                    |
| Interest Earnings   | 103,888.00                | 8,990.83                      |
| Other Revenue   | 60,500.00                 | 50,421.17                     |
| Non-Operating Grants, Subsidies and Contributions   | 9,238,188.00              | 811,275.28                    |
| <b>Total Income by Nature &amp; Type</b>  | <b>14,879,636.00</b>      | <b>4,240,532.39</b>           |
| <b>Expenditure</b>  |                           |                               |
| Employee Costs  | (2,134,739.00)            | (518,247.55)                  |
| Materials & Contracts   | (1,840,463.00)            | (330,977.28)                  |
| Utilities   | (208,638.00)              | (41,942.39)                   |
| Depreciation On Non-Current Assets  | (1,691,589.00)            | (588,301.88)                  |
| Interest Expenses   | (34,504.00)               | 5,452.51                      |
| Insurance Expenses  | (168,227.00)              | (130,487.53)                  |
| Other Expenditure   | (81,975.00)               | (15,498.43)                   |
| Loss On Asset Disposal  | (8,000.00)                | (14,632.34)                   |
| Loss on Revaluation of Non-Current Assets   | 0.00                      | 0.00                          |
| <b>Total Expenditure by Nature &amp; Type</b>   | <b>(6,168,135.00)</b>     | <b>(1,634,634.89)</b>         |
| <b>Allocations</b>  |                           |                               |
| Reallocation Codes Expenditure  | 421,192.00                | 40,915.84                     |
| Reallocation Codes Income   | 0.00                      | 0.00                          |
| <b>Total Allocations</b>  | <b>421,192.00</b>         | <b>40,915.84</b>              |
| <b>Net Operating by Nature &amp; Type</b>   | <b>9,132,693.00</b>       | <b>2,646,813.34</b>           |

**SHIRE OF BEVERLEY  
ROAD MAINTENANCE REPORT  
FOR THE PERIOD ENDING  
30 September 2020**

| <b>Job #</b> | <b>Job Description</b>                                  | <b>YTD Actual<br/>2020/21</b> |
|--------------|---|-------------------------------|
|              | <b>Rural Road Maintenance</b>                           |                               |
| RR001        | Aikens Rd (RoadID: 51) (Maintenance)                    | 3,435.95                      |
| RR002        | Athol Rd (RoadID: 26) (Maintenance)                     | 9,084.54                      |
| RR003        | Avoca Rd (RoadID: 98) (Maintenance)                     | 1,124.11                      |
| RR004        | Balkuling Rd (RoadID: 32) (Maintenance)                 | 1,652.59                      |
| RR005        | Balkuling North Rd (RoadID: 177) (Maintenance)          | 0.00                          |
| RR006        | Bally-Bally Countypeak Rd (RoadID: 25)<br>(Maintenance) | 4,553.26                      |
| RR007        | Bally-Bally Rd (RoadID: 9) (Maintenance)                | 6,378.77                      |
| RR008        | Barrington Rd (RoadID: 13) (Maintenance)                | 0.00                          |
| RR009        | Batemans Rd (RoadID: 78) (Maintenance)                  | 0.00                          |
| RR010        | Batys Rd (RoadID: 60) (Maintenance)                     | 2,649.36                      |
| RR011        | Bellrock Rd (RoadID: 158) (Maintenance)                 | 103.13                        |
| RR012        | Bennetts Rd (RoadID: 91) (Maintenance)                  | 0.00                          |
| RR013        | Beringer Rd (RoadID: 29) (Maintenance)                  | 5,521.95                      |
| RR014        | Bethany Rd (RoadID: 148) (Maintenance)                  | 1,229.10                      |
| RR015        | Billabong Rd (RoadID: 179) (Maintenance)                | 0.00                          |
| RR016        | Blackburn Rd (RoadID: 46) (Maintenance)                 | 1,309.51                      |
| RR017        | Bremner Rd (RoadID: 6) (Maintenance)                    | 640.21                        |
| RR018        | Buckinghams Rd (RoadID: 94) (Maintenance)               | 1,272.64                      |
| RR019        | Bushhill Road (RoadID: 183) (Maintenance)               | 361.54                        |
| RR020        | Butchers Rd (RoadID: 20) (Maintenance)                  | 3,275.44                      |
| RR021        | Cannon Hill Rd (RoadID: 176) (Maintenance)              | 416.13                        |
| RR022        | Carrs Rd (RoadID: 47) (Maintenance)                     | 1,146.90                      |
| RR023        | Cattle Station Road (RoadID: 181) (Maintenance)         | 0.00                          |
| RR024        | Caudle Rd (RoadID: 140) (Maintenance)                   | 0.00                          |
| RR025        | Chocolate Hills Rd (RoadID: 138) (Maintenance)          | 0.00                          |
| RR026        | Clulows Rd (RoadID: 16) (Maintenance)                   | 12,486.94                     |
| RR027        | Collins Rd (RoadID: 66) (Maintenance)                   | 1,653.84                      |
| RR028        | Cookes Rd (RoadID: 61) (Maintenance)                    | 0.00                          |
| RR029        | Corberding Rd (RoadID: 43) (Maintenance)                | 578.77                        |
| RR030        | County Peak Rd (RoadID: 96) (Maintenance)               | 102.77                        |
| RR031        | Dale Kokeby Rd (RoadID: 10) (Maintenance)               | 2,833.61                      |
| RR032        | Dalebin North Rd (RoadID: 24) (Maintenance)             | 5,649.66                      |
| RR033        | Deep Pool Rd (RoadID: 82) (Maintenance)                 | 0.00                          |
| RR034        | Dobaderry Rd (RoadID: 102) (Maintenance)                | 11,054.48                     |
| RR035        | Dongadilling Rd (RoadID: 18) (Maintenance)              | 9,076.84                      |
| RR036        | Drapers Rd (RoadID: 79) (Maintenance)                   | 601.09                        |
| RR037        | East Lynne Rd (RoadID: 52) (Maintenance)                | 2,470.73                      |



**SHIRE OF BEVERLEY  
ROAD MAINTENANCE REPORT  
FOR THE PERIOD ENDING  
30 September 2020**

| <b>Job #</b> | <b>Job Description</b>                         | <b>YTD Actual<br/>2020/21</b> |
|--------------|--|-------------------------------|
| RR038        | Edison Mill Rd (RoadID: 5) (Maintenance)       | 9,630.44                      |
| RR039        | Ewert Rd (RoadID: 27) (Maintenance)            | 5,585.41                      |
| RR040        | Fergusons Rd (RoadID: 64) (Maintenance)        | 723.47                        |
| RR041        | Fishers Rd (RoadID: 75) (Maintenance)          | 1,706.62                      |
| RR042        | Glencoe Rd (RoadID: 33) (Maintenance)          | 7,918.55                      |
| RR043        | Gors Rd (RoadID: 30) (Maintenance)             | 0.00                          |
| RR044        | Greenhills South Rd (RoadID: 36) (Maintenance) | 0.00                          |
| RR045        | Heals Rd (RoadID: 95) (Maintenance)            | 2,425.70                      |
| RR046        | Hills Rd (RoadID: 76) (Maintenance)            | 15.03                         |
| RR047        | Hobbs Rd (RoadID: 40) (Maintenance)            | 2,125.18                      |
| RR048        | Jacksons Rd (RoadID: 57) (Maintenance)         | 823.75                        |
| RR049        | Jacobs Well Rd (RoadID: 15) (Maintenance)      | 9,288.71                      |
| RR050        | Jas Rd (Maintenance)                           | 0.00                          |
| RR051        | Johnsons Rd (RoadID: 73) (Maintenance)         | 725.47                        |
| RR052        | Jones Rd (RoadID: 48) (Maintenance)            | 1,306.80                      |
| RR053        | K1 Rd (RoadID: 85) (Maintenance)               | 2,828.74                      |
| RR054        | Kennedys Rd (RoadID: 92) (Maintenance)         | 0.00                          |
| RR055        | Kevills Rd (RoadID: 69) (Maintenance)          | 0.00                          |
| RR056        | Kieara Rd (RoadID: 55) (Maintenance)           | 556.07                        |
| RR057        | Kilpatrick Rd (RoadID: 74) (Maintenance)       | 1,665.90                      |
| RR058        | Kokeby East Rd (RoadID: 4) (Maintenance)       | 177.32                        |
| RR059        | Kokendin Rd (RoadID: 11) (Maintenance)         | 16,723.19                     |
| RR060        | Lennard Rd (RoadID: 58) (Maintenance)          | 0.00                          |
| RR061        | Little Hill Rd (RoadID: 180) (Maintenance)     | 0.00                          |
| RR062        | Luptons Rd (RoadID: 22) (Maintenance)          | 3,334.51                      |
| RR063        | Maitland Rd (RoadID: 39) (Maintenance)         | 0.00                          |
| RR064        | Mandiakon Rd (RoadID: 87) (Maintenance)        | 0.00                          |
| RR065        | Manns Rd (RoadID: 59) (Maintenance)            | 0.00                          |
| RR066        | Manuels Rd (RoadID: 37) (Maintenance)          | 3,384.15                      |
| RR067        | Mawson Rd (RoadID: 100) (Maintenance)          | 3,237.61                      |
| RR068        | Mawson North Rd (RoadID: 167) (Maintenance)    | 0.00                          |
| RR069        | Mcdonalds Rd (RoadID: 54) (Maintenance)        | 347.75                        |
| RR070        | Mckellars Rd (RoadID: 93) (Maintenance)        | 0.00                          |
| RR071        | Mclean Rd (RoadID: 84) (Maintenance)           | 770.29                        |
| RR072        | Millers Rd (RoadID: 49) (Maintenance)          | 0.00                          |
| RR073        | Mills Rd (RoadID: 80) (Maintenance)            | 0.00                          |
| RR074        | Morbinning Rd (RoadID: 1) (Maintenance)        | 3,036.79                      |
| RR075        | Murrays Rd (RoadID: 71) (Maintenance)          | 1,909.68                      |
| RR076        | Negus Rd (RoadID: 50) (Maintenance)            | 0.00                          |

**SHIRE OF BEVERLEY  
ROAD MAINTENANCE REPORT  
FOR THE PERIOD ENDING  
30 September 2020**

| <b>Job #</b> | <b>Job Description</b>                         | <b>YTD Actual<br/>2020/21</b> |
|--------------|--|-------------------------------|
| RR077        | Northbourne Rd (RoadID: 28) (Maintenance)      | 49.88                         |
| RR078        | Oakdale Rd (RoadID: 17) (Maintenance)          | 6,632.85                      |
| RR079        | Patten Rd (RoadID: 53) (Maintenance)           | 1,322.30                      |
| RR080        | Petchells Rd (RoadID: 38) (Maintenance)        | 4,909.57                      |
| RR081        | Piccadilly Rd (RoadID: 70) (Maintenance)       | 0.00                          |
| RR082        | Pike Rd (RoadID: 45) (Maintenance)             | 1,872.83                      |
| RR083        | Potts Rd (RoadID: 14) (Maintenance)            | 0.00                          |
| RR084        | Qualandary Rd (RoadID: 19) (Maintenance)       | 3,554.15                      |
| RR085        | Rickeys Rd (RoadID: 35) (Maintenance)          | 5,405.89                      |
| RR086        | Rickeys Siding Rd (RoadID: 137) (Maintenance)  | 4,564.82                      |
| RR087        | Rifle Range Rd (RoadID: 56) (Maintenance)      | 2,229.26                      |
| RR088        | Rigoll Rd (RoadID: 157) (Maintenance)          | 1,970.87                      |
| RR089        | Rogers Rd (RoadID: 62) (Maintenance)           | 388.68                        |
| RR090        | Rossi Rd (RoadID: 156) (Maintenance)           | 242.16                        |
| RR091        | Rumble Rd (Maintenance)                        | 0.00                          |
| RR092        | Schillings Rd (RoadID: 65) (Maintenance)       | 546.35                        |
| RR093        | Shaw Rd (RoadID: 184) (Maintenance)            | 1,334.15                      |
| RR094        | Sheahans Rd (RoadID: 90) (Maintenance)         | 0.00                          |
| RR095        | Simmons Rd (RoadID: 101) (Maintenance)         | 99.77                         |
| RR096        | Sims Rd (RoadID: 155) (Maintenance)            | 0.00                          |
| RR097        | Ski Rd (RoadID: 83) (Maintenance)              | 1,084.17                      |
| RR098        | Smith Rd (RoadID: 72) (Maintenance)            | 0.00                          |
| RR099        | Southern Branch Rd (RoadID: 41) (Maintenance)  | 1,090.36                      |
| RR100        | Spavens Rd (RoadID: 44) (Maintenance)          | 0.00                          |
| RR101        | Springhill Rd (RoadID: 23) (Maintenance)       | 49.39                         |
| RR102        | Steve Edwards Drv (RoadID: 173) (Maintenance)  | 780.88                        |
| RR103        | St Jacks Rd (RoadID: 34) (Maintenance)         | 2,182.27                      |
| RR104        | Talbot West Rd (RoadID: 12) (Maintenance)      | 132.98                        |
| RR105        | Thomas Rd (RoadID: 31) (Maintenance)           | 1,139.62                      |
| RR106        | Top Beverley York Rd (RoadID: 8) (Maintenance) | 0.00                          |
| RR107        | Turner Gully Rd (RoadID: 169) (Maintenance)    | 219.45                        |
| RR108        | Vallentine Rd (RoadID: 21) (Maintenance)       | 2,583.57                      |
| RR109        | Walgy Rd (RoadID: 42) (Maintenance)            | 0.00                          |
| RR110        | Walkers Rd (RoadID: 86) (Maintenance)          | 760.12                        |
| RR111        | Wansbrough Rd (RoadID: 77) (Maintenance)       | 985.85                        |
| RR112        | Warradale Rd (RoadID: 67) (Maintenance)        | 5,260.24                      |
| RR113        | Waterhatch Rd (RoadID: 2) (Maintenance)        | 0.00                          |
| RR114        | Westdale Rd (RoadID: 166) (Maintenance)        | 2,707.34                      |
| RR115        | Williamsons Rd (RoadID: 63) (Maintenance)      | 547.47                        |

| <b>SHIRE OF BEVERLEY<br/>ROAD MAINTENANCE REPORT<br/>FOR THE PERIOD ENDING<br/>30 September 2020</b> |  |                               |
|--|--|-------------------------------|
| <b>Job #</b>   | <b>Job Description</b>                       | <b>YTD Actual<br/>2020/21</b> |
| RR116  | Woods Rd (RoadID: 68) (Maintenance)          | 0.00                          |
| RR117  | Woonderlin Rd (RoadID: 175) (Maintenance)    | 0.00                          |
| RR118  | Wyalgima Rd (RoadID: 154) (Maintenance)      | 0.00                          |
| RR119  | Yenyening Lakes Rd (RoadID: 7) (Maintenance) | 13,008.50                     |
| RR120  | York-Williams Rd (RoadID: 3) (Maintenance)   | 985.16                        |
| RR121  | Young Rd (RoadID: 81) (Maintenance)          | 0.00                          |
| RR777  | Contract Road Side Spraying                  | 0.00                          |
| RR888  | Tree Lopping - Rural Roads (Maintenance)     | 0.00                          |
| RR999  | Rural Roads Various (Maintenance)            | 19,576.42                     |
| WANDRRA  | Disaster Recovery Works                      | 0.00                          |
| <b>Sub Total</b>   | <b>Rural Road Maintenance</b>                | <b>259,128.31</b>             |
|  |  |                               |
|  | <b>Town Street Maintenance</b>               |                               |
| TS001  | Barnsley St (RoadID: 162) (Maintenance)      | 450.94                        |
| TS002  | Bartram St (RoadID: 114) (Maintenance)       | 49.39                         |
| TS003  | Brockman St (RoadID: 129) (Maintenance)      | 92.52                         |
| TS004  | Brooking St (RoadID: 122) (Maintenance)      | 240.60                        |
| TS005  | Broun St (RoadID: 144) (Maintenance)         | 0.00                          |
| TS006  | Chestillion Ct (RoadID: 139) (Maintenance)   | 0.00                          |
| TS007  | Chipper St (RoadID: 126) (Maintenance)       | 890.40                        |
| TS008  | Council Rd (RoadID: 149) (Maintenance)       | 1,954.00                      |
| TS009  | Courtney St (RoadID: 153) (Maintenance)      | 0.00                          |
| TS010  | Dawson St (RoadID: 106) (Maintenance)        | 733.77                        |
| TS011  | Delisle St (RoadID: 120) (Maintenance)       | 0.00                          |
| TS012  | Dempster St (RoadID: 111) (Maintenance)      | 539.03                        |
| TS013  | Duffield St (RoadID: 160) (Maintenance)      | 0.00                          |
| TS014  | Edward St (RoadID: 107) (Maintenance)        | 0.00                          |
| TS015  | Elizabeth St (RoadID: 131) (Maintenance)     | 0.00                          |
| TS016  | Ernest Drv (RoadID: 135) (Maintenance)       | 0.00                          |
| TS017  | Forrest St (RoadID: 103) (Maintenance)       | 3,758.28                      |
| TS018  | George St North (RoadID: 161) (Maintenance)  | 0.00                          |
| TS019  | George St South (RoadID: 145) (Maintenance)  | 0.00                          |
| TS020  | Grigson St (RoadID: 172) (Maintenance)       | 2,085.80                      |
| TS021  | Hamersley St (RoadID: 130) (Maintenance)     | 0.00                          |
| TS022  | Harper St (RoadID: 109) (Maintenance)        | 1,173.30                      |
| TS023  | Hope St (RoadID: 115) (Maintenance)          | 235.13                        |

| <b>SHIRE OF BEVERLEY<br/>ROAD MAINTENANCE REPORT<br/>FOR THE PERIOD ENDING<br/>30 September 2020</b> |   |                               |
|--|---|-------------------------------|
| <b>Job #</b>   | <b>Job Description</b>                    | <b>YTD Actual<br/>2020/21</b> |
| TS024  | Hopkin St (RoadID: 128) (Maintenance)     | 0.00                          |
| TS025  | Horley St (RoadID: 127) (Maintenance)     | 0.00                          |
| TS026  | Hunt Rd (Maintenance)                     | 3,039.37                      |
| TS027  | Husking St (RoadID: 117) (Maintenance)    | 0.00                          |
| TS028  | Hutchinson St (RoadID: 168) (Maintenance) | 0.00                          |
| TS029  | John St (RoadID: 105) (Maintenance)       | 2,402.91                      |
| TS030  | Langsford St (RoadID: 152) (Maintenance)  | 1,067.75                      |
| TS031  | Lennard St (RoadID: 113) (Maintenance)    | 0.00                          |
| TS032  | Ludgate St (RoadID: 143) (Maintenance)    | 481.15                        |
| TS033  | Lukin St (RoadID: 104) (Maintenance)      | 5,426.47                      |
| TS034  | Mcneil St (RoadID: 141) (Maintenance)     | 0.00                          |
| TS035  | Monger St (RoadID: 116) (Maintenance)     | 0.00                          |
| TS036  | Morrison St (RoadID: 112) (Maintenance)   | 0.00                          |
| TS037  | Nicholas St (RoadID: 123) (Maintenance)   | 1,686.83                      |
| TS038  | Prior Pl (RoadID: 174) (Maintenance)      | 0.00                          |
| TS039  | Queen St (RoadID: 110) (Maintenance)      | 121.28                        |
| TS040  | Railway Pde (RoadID: 147) (Maintenance)   | 0.00                          |
| TS041  | Railway St (RoadID: 146) (Maintenance)    | 0.00                          |
| TS042  | Richardson St (RoadID: 124) (Maintenance) | 0.00                          |
| TS043  | Seabrook St (RoadID: 118) (Maintenance)   | 969.48                        |
| TS044  | Sewell St (RoadID: 119) (Maintenance)     | 0.00                          |
| TS045  | Shed St (RoadID: 136) (Maintenance)       | 0.00                          |
| TS046  | Short St (RoadID: 121) (Maintenance)      | 903.78                        |
| TS047  | Smith St (RoadID: 108) (Maintenance)      | 201.96                        |
| TS048  | Taylor St (RoadID: 165) (Maintenance)     | 0.00                          |
| TS049  | Vincent St (RoadID: 125) (Maintenance)    | 821.22                        |
| TS050  | Wright St (RoadID: 150) (Maintenance)     | 0.00                          |
| TS051  | Great Southern Hwy (Maintenance)          | 0.00                          |
| TS555  | Road Sign Updates                         | 6,030.00                      |
| TS888  | Tree Lopping - Town Streets (Maintenance) | 446.83                        |
| TS999  | Town Streets Various (Maintenance)        | 7,519.40                      |
| <b>Sub Total</b>   | <b>Town Streets Maintenance</b>           | <b>43,321.59</b>              |
| <b>Total</b>   | <b>Road Maintenance</b>                   | <b>302,449.90</b>             |

| SHIRE OF BEVERLEY           |                              |                      |                     |         |               |            |
|-----------------------------|------------------------------|----------------------|---------------------|---------|---------------|------------|
| INVESTMENT OF SURPLUS FUNDS |                              |                      |                     |         |               |            |
| AS AT 30 September 2020     |                              |                      |                     |         |               |            |
| Account                     | Account Name                 | Amount Invested (\$) | Total               | Term    | Interest Rate | Maturation |
| <b>3236036</b>              | <b>Reserve Funds Bendigo</b> |                      |                     |         |               |            |
|                             | Long Service Leave           | 30,568.82            |                     |         |               |            |
|                             | Airfield Emergency           | 39,947.40            |                     |         |               |            |
|                             | Plant                        | 367,262.63           |                     |         |               |            |
|                             | Bush Fire Fighters           | 28,570.08            |                     |         |               |            |
|                             | Building                     | 288,997.04           |                     |         |               |            |
|                             | Recreation Ground            | 432,413.73           |                     |         |               |            |
|                             | Cropping Committee           | 159,095.42           |                     |         |               |            |
|                             | Avon River Development       | 25,840.81            |                     |         |               |            |
|                             | Annual Leave                 | 139,052.12           |                     |         |               |            |
|                             | Community Bus                | 37,842.40            |                     |         |               |            |
|                             | Road Construction            | 513,660.51           |                     |         |               |            |
|                             | Senior Housing               | 152,773.30           |                     |         |               |            |
|                             | Mainstreet Development       | 306,000.00           |                     |         |               |            |
|                             | Avondale Mach Museum         | 60,000.00            | 2,582,024.26        | 6 mnths | 0.70%         | 22/12/2020 |
| <b>3411346</b>              | <b>Term Deposit Bendigo</b>  | 409,808.19           | 409,808.19          | 3 mnths | 0.80%         | 14/10/2020 |
|                             | <b>Total</b>                 |                      | <b>2,991,832.45</b> |         |               |            |

## **11.2 Accounts Paid by Authority**

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**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 15 October 2020  
**APPLICANT:** N/A  
**FILE REFERENCE:** N/A  
**AUTHOR:** S.K. Marshall, Deputy Chief Executive Officer  
**ATTACHMENTS:** September 2020 – List of Accounts (under separate cover)

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### **SUMMARY**

Council to consider authorising the payment of accounts.

### **BACKGROUND**

The following list represents accounts paid by authority for the month of September 2020.

### **COMMENT**

Unless otherwise identified, all payments have been made in accordance with Council's 2020/21 Budget.

### **STATUTORY ENVIRONMENT**

Regulation 12 of the Local Government (Financial Management) Regulations provides that:

- (1) A payment may only be made from the municipal fund or the trust fund —
  - (a) if the local government has delegated to the CEO the exercise of its power to make payments from those funds — by the CEO; or
  - (b) otherwise, if the payment is authorised in advance by a resolution of the council.
- (2) The council must not authorise a payment from those funds until a list prepared under regulation 13(2) containing details of the accounts to be paid has been presented to the council.

Regulation 13 of the Local Government (Financial Management) Regulations provides that:

- (1) If the local government has delegated to the CEO the exercise of its power to make payments from the municipal fund or the trust fund, a list of accounts paid by the CEO is to be prepared each month showing for each account paid since the last such list was prepared —
    - (a) the payee's name;
    - (b) the amount of the payment;
    - (c) the date of the payment; and
    - (d) sufficient information to identify the transaction.
  - (2) A list of accounts for approval to be paid is to be prepared each month showing —
    - (a) for each account which requires council authorisation in that month —
      - (i) the payee's name;
      - (ii) the amount of the payment; and
      - (iii) sufficient information to identify the transaction;
- and
- (b) the date of the meeting of the Council to which the list is to be presented.

- (3) A list prepared under sub regulation (1) or (2) is to be —
- (a) presented to the Council at the next ordinary meeting of the council after the list is prepared; and
  - (b) recorded in the minutes of that meeting.

### FINANCIAL IMPLICATIONS

Unless otherwise identified, all payments have been made in accordance with Council's 2020/21 Budget.

### STRATEGIC IMPLICATIONS

Goal 12 – Council leads the organisation and engages with community in an accountable and professional manner.

### POLICY IMPLICATIONS

Authority to Purchase – All acquisitions should be in accordance with budget provisions or to a maximum specified cost.

### VOTING REQUIREMENTS

Simple Majority

### OFFICER'S RECOMMENDATION

That the List of Accounts as presented, be received:

#### September 2020:

#### (1) **Municipal Fund** – Account 016-540 259 838 056

##### Cheque vouchers

|  |           |     |    |             |  |
|--|-----------|-----|----|-------------|--|
| 16 September 2020                                | 1790-1790 | (1) | \$ | 1,431.42    | (authorised by DCEO S Marshall and Cr D White)   |
| 17 September 2020                                | 1791-1792 | (2) | \$ | 2,190.60    | (authorised by CEO S Gollan and DCEO S Marshall) |
| Total of cheque vouchers for September 2020 incl |           |     |    | \$ 3,622.02 | previously paid                                  |

##### EFT vouchers

|   |               |      |    |              |  |
|---|---------------|------|----|--------------|--|
| 01 September 2020                             | EFT 6140-6170 | (31) | \$ | 81,716.02    | (authorised by CEO S Gollan and DCEO S Marshall) |
| 02 September 2020                             | EFT 1-37      | (37) | \$ | 55,133.42    | (authorised by CEO S Gollan and DCEO S Marshall) |
| 08 September 2020                             | EFT 6172-6195 | (24) | \$ | 41,084.76    | (authorised by CEO S Gollan and DCEO S Marshall) |
| 16 September 2020                             | EFT 1-37      | (37) | \$ | 54,928.48    | (authorised by CEO S Gollan and DCEO S Marshall) |
| 17 September 2020                             | EFT 6196-6215 | (20) | \$ | 70,019.74    | (authorised by CEO S Gollan and DCEO S Marshall) |
| 21 September 2020                             | EFT 6216-6225 | (10) | \$ | 320,197.26   | (authorised by CEO S Gollan and DCEO S Marshall) |
| 30 September 2020                             | EFT 1-37      | (37) | \$ | 56,944.24    | (authorised by CEO S Gollan and DCEO S Marshall) |
| Total of EFT vouchers for September 2020 incl |               |      |    | \$ 680,023.9 | previously paid.                                 |

#### (2) **Trust Fund** – Account 016-259 838 128

##### Cheque vouchers

Nil vouchers

Total of cheque vouchers for September 2020 incl \$ 0.00 previously paid.

##### EFT vouchers

|   |               |     |    |          |  |
|---|---------------|-----|----|----------|--|
| 01 September 2020                             | EFT 6171-6171 | (1) | \$ | 50.00    | (authorised by CEO S Gollan and DCEO S Marshall) |
| Total of EFT vouchers for September 2020 incl |               |     |    | \$ 50.00 | previously paid.                                 |

(3) **Direct Debit** Payments totalling \$ 90,480.34 previously paid.

(4) **Credit Card** Payments totalling \$ 1,842.77 previously paid.

### **11.3 Cropping Lease Submissions 2021- 2024**

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**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 15 October 2020  
**APPLICANT:** Cropping Committee  
**FILE REFERENCE:** ADM 0049  
**AUTHOR:** S.P Gollan, Chief Executive Officer  
**ATTACHMENTS:** Comparison Chart (under separate cover)

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#### **SUMMARY**

Council to award various Cropping Leases as recommended by the Cropping Committee.

#### **BACKGROUND**

At the 12 August 2020 Cropping Committee Meeting the Committee recommended that Council;

1. *continue the renewal with Department of Lands Lease for the Reserve 25266 Bethany Farm and Reserve 38798 Mt Kokeby blocks;*
2. *call for submissions for the all leases via the September and October editions of the Beverley Blarney and fortnightly on Facebook;*
3. *write to the current lease holders to advise them of the next lease advertising period;*
4. *continue the lease period of 3 years 1 April 2021 to 31 March 2024; and*
5. *continue with the allowance that Hay may be cut for a maximum of 1 year in the 3 year term.*

The above recommendation was endorsed by Council at the 28 August 2020 Ordinary Council meeting.

The cropping leases were advertised in the September and October editions of the Beverley Blarney. Three times a week on Facebook and on the Shire Website for a period of 6 weeks.

#### **COMMENT**

At the close of business Friday 9 October 2020, a total of five (5) submissions were received.

The submission for Reserve 25266 Bethany Farm is \$100.00 below the cost to Council and therefore the Committee may wish to discuss it further? All lease blocks only received one tender per block.

A summary of the tenders received, with yearly costs excluding GST, is on the following page. Attached under separate cover (confidential) is a comparison from 2018-2021.



|   | <b>Prices per year, excluding GST</b> |                             |                               |                           |                     |
|---|---------------------------------------|-----------------------------|-------------------------------|---------------------------|---------------------|
| <b>Lease</b>  | <b>Roesland Farms</b>                 | <b>Beverley Tennis Club</b> | <b>Beverley Football Club</b> | <b>CR &amp; J Ridgway</b> | <b>Bernard Hunt</b> |
| Reserve 38798 Mt Kokeby   |                                       |                             |                               | \$9,760.00                |                     |
| Reserve 25266 (Bethany Farm)                                    | \$3,750.00                            |                             |                               |                           |                     |
| Lot 78 Waterhatch Rd  |                                       |                             | \$1,950.00                    |                           |                     |
| Reserve 3788 Old Racecourse                                     |                                       | \$2,000.00                  |                               |                           |                     |
| Portion Reserve 5265A Old Commonage                             | \$20,000.00                           |                             |                               |                           |                     |
| Portion Reserve 5265B Sand Pit                                  | \$7,000.00                            |                             |                               |                           |                     |
| Portion Reserve 5265C Between Great Southern Hwy & Railway Line | \$4,300.00                            |                             |                               |                           |                     |
| Portion Reserve 5265D Off Bremner Road                          |                                       |                             |                               |                           | \$2,900.00          |

## **STATUTORY ENVIRONMENT**

*Local Government Act 1995*

### 3.57. Tenders for providing goods or services

- (1) A local government is required to invite tenders before it enters into a contract of a prescribed kind under which another person is to supply goods or services.
- (2) Regulations may make provision about tenders.

## **FINANCIAL IMPLICATIONS**

Future Budgets

## **STRATEGIC IMPLICATIONS**

Goal 11 - We aim to protect and preserve our natural environment

Strategy 11.2 - Appropriately manage crown land sub leases

## **POLICY IMPLICATIONS**

Nil

## **VOTING REQUIREMENTS**

Simple Majority

## **COMMITTEE RECOMMENDATION**

The Council award the following leases for a period of 3 years, 1 April 2021 to 31 March 2024 to:

| Lease   | Lessee                 | Yearly Rent<br>Ex GST |
|---|------------------------|-----------------------|
| Reserve 38798 Mt Kokeby   | CR & J Ridgway         | \$9,760.00            |
| Reserve 25266 (Bethany Farm)                                    | Roesland Farms         | \$3,750.00            |
| Lot 78 Waterhatch Rd  | Beverley Football Club | \$1,950.00            |
| Reserve 3788 Old Racecourse                                     | Beverley Tennis Club   | \$2,000.00            |
| Portion Reserve 5265A Old Commonage                             | Roesland Farms         | \$20,000.00           |
| Portion Reserve 5265B Sand Pit                                  | Roesland Farms         | \$7,000.00            |
| Portion Reserve 5265C Between Great Southern Hwy & Railway Line | Roesland Farms         | \$4,300.00            |
| Portion Reserve 5265D Off Bremner Road                          | Bernard Hunt           | \$2,900.00            |

## **12. ADMINISTRATION**

### **12.1 Recycled Water Supply – Memorandum of Understanding**

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**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 5 October 2020  
**APPLICANT:** Shire of Beverley  
**FILE REFERENCE:** ADM 0264  
**AUTHOR:** S.P. Gollan, Chief Executive Officer  
**ATTACHMENTS:** Variation Agreement MOU (Under separate cover)

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#### **SUMMARY**

Council to consider a variation agreement, being a two year extension to the Memorandum of Understanding (MOU) Recycled Water Supply between the Shire of Beverley and Water Corporation.

#### **BACKGROUND**

Council agreed to a ten year MOU with the Water Corporation for the supply of recycled water on 10 November 2010. The MOU will expire 10 November 2020.

#### **COMMENT**

The Water Corporation have supplied a variation agreement which is changing the term from 10 years to 12 years, simply a 2 year extension. There are no other changes to the MOU.

There have been no issues with the MOU to date and therefore it will be recommended Council sign the variation.

#### **STATUTORY ENVIRONMENT**

*Local Government Act 1995 and Water Corporation Act 1995*

#### **FINANCIAL IMPLICATIONS**

Access to reuse water for the town oval.

#### **STRATEGIC IMPLICATIONS**

Goal 11 - We aim to protect and preserve our natural environment.

#### **POLICY IMPLICATIONS**

N/A

#### **VOTING REQUIREMENTS**

Simple Majority

#### **OFFICER'S RECOMMENDATION**

That Council accept the Variation Agreement – MOU Recycled Water Supply from the Water Corporation and authorise the Chief Executive Officer to sign the variation on behalf of Council.

## **12.2 Council Representation on Various Committees**

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**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 12 October 2020  
**APPLICANT:** N/A  
**FILE REFERENCE:** ADM 0300 / 0504  
**AUTHOR:** S.P. Gollan, Chief Executive Officer  
**ATTACHMENTS:** Nil

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### **SUMMARY**

Council to select replacements for Cr DL Brown on various Non-Council committees and a new representative for the Alex Miles Frail Aged Lodge Committee.

### **BACKGROUND**

As indicated in item 2.5 Cr Brown has applied for 6 months leave from Council. Cr Brown sits on the Tourism Advisory Group, the Local Health Advisory Group (along with Cr Gogol), the Yenyening Lakes Catchment Group and the Beverley 2022 group (along with Cr Martin). A council representative should be selected as a replacement for Cr Brown while he is on leave.

The Alex Miles Frail Aged Lodge Committee have formally requested a Councillor representative join them for their quarterly meetings, with the first being Thursday 29 October at 4pm. The President is Lew Shaw and John Lane is Secretary/Treasurer.

### **COMMENT**

Councillors are asked to consider taking up one of these representative positions for Cr Brown's leave of request period.

The Lodge representative will be until the 2021 elections.

### **STATUTORY ENVIRONMENT**

Not applicable as Non-Council Committees

### **FINANCIAL IMPLICATIONS**

N/A

### **STRATEGIC IMPLICATIONS**

Goal 12 – Council leads the organisation and engages with community in an accountable and professional manner.

### **POLICY IMPLICATIONS**

N/A

### **VOTING REQUIREMENTS**

Simple Majority

**OFFICER'S RECOMMENDATION**

That:

1. Cr \_\_\_\_\_ represent Council on the Tourism Advisory Group.
2. Cr \_\_\_\_\_ represent Council on the Local Health Advisory Group.
3. Cr \_\_\_\_\_ represent Council on the Yenyening Lakes Catchment Group.
4. Cr \_\_\_\_\_ represent Council on the Beverley 2022 working group.
5. Cr \_\_\_\_\_ represent Council on the Alex Miles Frail Aged Lodge Committee.

### **12.3 2021 Council Meeting Schedule**

---

**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 2 October 2020  
**APPLICANT:** Shire of Beverley  
**FILE REFERENCE:** ADM 0102  
**AUTHOR:** S.P. Gollan, Chief Executive Officer  
**ATTACHMENTS:** Nil

---

#### **SUMMARY**

Council to consider setting the dates and times for the 2021 Council Meetings to advertise and distribute.

#### **BACKGROUND**

Council policy is to hold the Ordinary Council Meeting on the fourth Tuesday of each month from February to November. Generally, there is no meeting in January and the December meeting date is traditionally held on the third Tuesday to allow for the minutes to be distributed prior to the Christmas break-up.

The current timing of the Council Meeting is:

|                  |                          |
|------------------|--------------------------|
| 12.00pm – 1.00pm | Lunch                    |
| 1.00pm – 2.50pm  | Council Briefing         |
| 3.00pm – 5.00pm  | Ordinary Council Meeting |

Committee Meetings, if required, are usually held on the second Tuesday of the month at 9:00am.

#### **COMMENT**

The proposed dates for the 2021 Ordinary Council Meetings are:

Tuesday 23 February 2021  
Tuesday 23 March 2021  
Tuesday 27 April 2021  
Tuesday 25 May 2021  
Tuesday 22 June 2021  
Tuesday 27 July 2021  
Tuesday 24 August 2021  
Tuesday 28 September 2021  
Tuesday 19 October 2021\*\*  
Tuesday 26 October 2021  
Tuesday 23 November 2021  
Tuesday 14 December 2021\*\*\*

The proposed April Council meeting is preceded by the ANZAC Day public holiday on 26 April, but as the Agenda is out on Thursday 22 April, there should still be enough preparation time for Councillors. Council comment is welcome.

\*\*Tuesday 19 October 2021 is a Special Meeting of Council scheduled for the swearing in of Councillors after the Local Government elections which are to be held on Saturday 16 October 2021.

\*\*\*Tuesday 14 December is the second Tuesday of the month.

## **STATUTORY ENVIRONMENT**

Section 5.3 of the *Local Government Act 1995*:

### 5.3. Ordinary and special council meetings

- (1) A council is to hold ordinary meetings and may hold special meetings.
- (2) Ordinary meetings are to be held not more than 3 months apart.
- (3) If a council fails to meet as required by subsection (2) the CEO is to notify the Minister of that failure.

### 5.4. Calling council meetings

An ordinary or a special meeting of a council is to be held —

- (a) if called for by either —
  - (i) the mayor or president; or
  - (ii) at least  $\frac{1}{3}$  of the councillors,  
in a notice to the CEO setting out the date and purpose of the proposed meeting; or
- (b) if so decided by the council.

### 5.5. Convening council meetings

- (1) The CEO is to convene an ordinary meeting by giving each council member at least 72 hours' notice of the date, time and place of the meeting and an agenda for the meeting.
- (2) The CEO is to convene a special meeting by giving each council member notice, before the meeting, of the date, time, place and purpose of the meeting.

## **FINANCIAL IMPLICATIONS**

N/A

## **STRATEGIC IMPLICATIONS**

Goal 12 – Council leads the organisation and engages with community in an accountable and professional manner.

## **POLICY IMPLICATIONS**

EM001 – Ordinary Meetings of Council

## **VOTING REQUIREMENTS**

Simple Majority

**OFFICER'S RECOMMENDATION**

That Council;

1. Set the Ordinary Council Meeting dates for February 2021 – December 2021 as;

Tuesday 23 February 2021

Tuesday 23 March 2021

Tuesday 27 April 2021

Tuesday 25 May 2021

Tuesday 22 June 2021

Tuesday 27 July 2021

Tuesday 24 August 2021

Tuesday 28 September 2021

Tuesday 26 October 2021

Tuesday 23 November 2021

Tuesday 14 December 2021



## **12.4 Administration Office – Christmas and New Year Hours**

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**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 2 October 2020  
**APPLICANT:** Shire of Beverley  
**FILE REFERENCE:** ADM 0468  
**AUTHOR:** S.P. Gollan, Chief Executive Officer  
**ATTACHMENTS:** Nil

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### **SUMMARY**

Council to consider the closure of the Administration Centre from close of business Wednesday 23 December 2020 to Friday 1 January 2021. The Administration centre will re-open on Monday 4 January 2020.

### **BACKGROUND**

For the past twelve years, the Administration Centre was closed over a similar period and there has been no record of this action causing concern or complaint. An early decision allows for adequate advertising time to the Community.

Staff have requested that the Administration Centre be closed on Thursday 24 December (due to a lack of custom on Christmas Eve in previous years), Tuesday 29 December, Wednesday 30 December and Thursday 31 December (New Year's Eve). It will also allow those travelling away from Beverley to do so in a timely manner.

### **COMMENT**

Shown below is a summary of days the Administration Centre is requested to be open and closed:

|           |                                |   |                                     |
|-----------|--------------------------------|---|-------------------------------------|
| Wednesday | 23 <sup>rd</sup> December 2020 | – | Administration Centre <u>Open</u>   |
| Thursday  | 24 <sup>th</sup> December 2020 | – | Administration Centre <b>Closed</b> |
| Friday    | 25 <sup>th</sup> December 2020 | – | Public Holiday (Christmas Day)      |
| Monday    | 28 <sup>th</sup> December 2020 | – | Public Holiday (Boxing Day Holiday) |
| Tuesday   | 29 <sup>th</sup> December 2020 | – | Administration Centre <b>Closed</b> |
| Wednesday | 30 <sup>th</sup> December 2020 | – | Administration Centre <b>Closed</b> |
| Thursday  | 31 <sup>st</sup> December 2020 | – | Administration Centre <b>Closed</b> |
| Friday    | 01 <sup>st</sup> January 2021  | – | Public Holiday (New Years Day)      |
| Monday    | 04 <sup>th</sup> January 2020  | – | Administration Centre <u>Open</u>   |

The closure of the Administration Centre will allow staff to have an extended period of leave in addition to the public holidays. Annual Leave of up to 4 days will be utilised by staff to compensate for the additional days off. This is same number of days as the 2019/20 closure, however due to the weekend after the 1 January public holiday the Shire will be closed for an additional two days making the total number of days closed to be 11.

The Works Crew will work on skeleton staff throughout this period.

**STATUTORY ENVIRONMENT**

N/A

**FINANCIAL IMPLICATIONS**

Nil

**STRATEGIC IMPLICATIONS**

N/A

**POLICY IMPLICATIONS**

N/A

**VOTING REQUIREMENTS**

Simple Majority

**OFFICER'S RECOMMENDATION**

That Council endorse the closure of the Administration Centre from close of business, 4pm Wednesday 23 December 2020 to the re-opening on Monday 4 January 2021 at 8:30am.

## **12.5 Annual Council and Staff Christmas Function**

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**SUBMISSION TO:** Ordinary Council Meeting 27 October 2020  
**REPORT DATE:** 2 October 2020  
**APPLICANT:** Shire of Beverley  
**FILE REFERENCE:** ADM 0316  
**AUTHOR:** S.P. Gollan, Chief Executive Officer  
**ATTACHMENTS:** Nil

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### **SUMMARY**

Council to consider the annual Christmas function for Staff and Councillors and annual Christmas gift for Staff.

### **BACKGROUND**

It has been customary for Council to hold an annual Christmas Function for staff, Councillors and their immediate family each year. Along with the function, Councillors have given staff a gift in the form of Christmas Hampers or Vouchers.

### **COMMENT**

If it is Council's wish to continue these traditions, a date, venue and gift will need to be chosen.

The Shire has traditionally held a sit-down evening function which allows for families to attend. Staff have requested a move away from the formal dinner suggesting a cocktail event similar to the Farewell Sundowner that was held in September 2020.

Friday 18 December 2020 at the Beverley Golf Club has been identified as a date that does not clash with other community events such as the Beverley District High School Presentation night and the Station Arts Community Christmas Concert.

Last year gift vouchers were purchased and were well received by staff. If Council still want to give a gift it is suggested doing this option again and distributing them after the Tuesday 15 December Ordinary Council meeting. Gift vouchers from various Beverley businesses will also help support the local economy.

### **STATUTORY ENVIRONMENT**

N/A

### **FINANCIAL IMPLICATIONS**

2020/21 Budget - Allocated

### **STRATEGIC IMPLICATIONS**

N/A

### **POLICY IMPLICATIONS**

N/A

### **VOTING REQUIREMENTS**

Simple Majority

**OFFICER'S RECOMMENDATION**

That Council;

1. hold the Council and Christmas Function on Friday 18 December 2020 at the Beverley Golf Club; and
2. present the determined gift to staff after the 15 December 2020 Council Meeting.

**13. CONFIDENTIAL ITEMS**

Meeting to close to the public.

**13.1 Contract for the Provision of Medical Services**

**13.2 Chief Executive Officer Performance Review**

Meeting to close to all Staff.

**14. NEW BUSINESS ARISING BY ORDER OF THE MEETING**

New Business of an urgent matter only arising by order of the meeting.

**15. CLOSURE**

The Chairman to declare the meeting closed.



**14 October 2020**

**CROPPING COMMITTEE  
MEETING**

**MINUTES**

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**1. OPENING**

The Chairperson declared the meeting open at 10:00am

**2. ATTENDANCE, APOLOGIES AND LEAVE OF ABSENCE**

**2.1 Members Present**

Cr TWT Seed                      Chairperson

Cr TF McLaughlin

Cr DC White

**2.2 Staff In Attendance**

Mr SP Gollan                      Chief Executive Officer

Mr SK Marshall                  Deputy Chief Executive Officer

**2.3 Observers And Visitors**

Nil

**2.4 Apologies and Approved Leave of Absence**

Nil

**3. DECLARATIONS OF INTEREST**

Nil

#### **4. CONFIRMATION OF PREVIOUS MINUTES**

##### **OFFICER'S RECOMMENDATION**

That the Minutes of the Cropping Committee Meeting held on 12 August 2020 be confirmed.

##### **COMMITTEE RESOLUTION**

**MCC1/1020**

**Moved Cr McLaughlin**

**Seconded Cr White**

**That the Minutes of the Cropping Committee Meeting held on 12 August 2020 be confirmed.**

**CARRIED 3/0**

## **5. OFFICER UPDATES**

### **5.1 Current Cropping Leases**

---

**SUBMISSION TO:** Cropping Committee Meeting  
**REPORT DATE:** 9 October 2020  
**APPLICANT:** N/A  
**FILE REFERENCE:** ADM 0049  
**AUTHOR:** S.K. Marshall, Deputy Chief Executive Officer  
**ATTACHMENTS:** Nil

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#### **SUMMARY**

Committee to recommend Council award various Cropping Leases.

#### **BACKGROUND**

At the 12 August 2020 Cropping Committee Meeting the Committee recommended that Council;

1. *continue the renewal with Department of Lands Lease for the Reserve 25266 Bethany Farm and Reserve 38798 Mt Kokeby blocks;*
2. *call for submissions for the all leases via the September and October editions of the Beverley Blarney and fortnightly on Facebook;*
3. *write to the current lease holders to advise them of the next lease advertising period;*
4. *continue the lease period of 3 years 1 April 2021 to 31 March 2024; and*
5. *continue with the allowance that Hay may be cut for a maximum of 1 year in the 3 year term.*

The above recommendation was endorsed by Council at the 28 August 2020 Ordinary Council meeting.

The cropping leases were advertised in the September and October editions of the Beverley Blarney. Three times a week on Facebook and on the Shire Website for a period of 6 weeks.

#### **COMMENT**

At the close of business Friday 9 October 2020, a total of five (5) submissions were received.

The submission for Reserve 25266 Bethany Farm is \$100.00 below the cost to Council and therefore the Committee may wish to discuss it further? All lease blocks only received one tender per block.

A summary of the tenders received is as follows:

| <b>Lease</b>  | <b>Roesland Farms</b> | <b>Beverley Tennis Club</b> | <b>Beverley Football Club</b> | <b>CR &amp; J Ridgway</b> | <b>Bernard Hunt</b> |
|---|-----------------------|-----------------------------|-------------------------------|---------------------------|---------------------|
| Reserve 38798 Mt Kokeby   |                       |                             |                               | \$9,760.00                |                     |
| Reserve 25266 (Bethany Farm)                                    | \$3,750.00            |                             |                               |                           |                     |
| Lot 78 Waterhatch Rd  |                       |                             | \$1,950.00                    |                           |                     |
| Reserve 3788 Old Racecourse                                     |                       | \$2,000.00                  |                               |                           |                     |
| Portion Reserve 5265A Old Commonage                             | \$20,000.00           |                             |                               |                           |                     |
| Portion Reserve 5265B Sand Pit                                  | \$7,000.00            |                             |                               |                           |                     |
| Portion Reserve 5265C Between Great Southern Hwy & Railway Line | \$4,300.00            |                             |                               |                           |                     |
| Portion Reserve 5265D Off Bremner Road                          |                       |                             |                               |                           | \$2,900.00          |

## **STATUTORY ENVIRONMENT**

*Local Government Act 1995*

### **3.57. Tenders for providing goods or services**

- (1) A local government is required to invite tenders before it enters into a contract of a prescribed kind under which another person is to supply goods or services.
- (2) Regulations may make provision about tenders.

## **FINANCIAL IMPLICATIONS**

Future Budgets

## **STRATEGIC IMPLICATIONS**

Review land use strategies and plans, whilst protecting viable farming options.

## **POLICY IMPLICATIONS**

Nil

## **VOTING REQUIREMENTS**

Simple Majority

## **OFFICER'S RECOMMENDATION**

The Cropping Committee to make a recommendation to Council that the following leases for a period of 3 years, 1 April 2021 to 31 March 2024 be awarded to:

| <b>Lease</b>  | <b>Lessee</b> | <b>Yearly Rent<br/>Ex GST</b> |
|---|---------------|-------------------------------|
| Reserve 38798 Mt Kokeby   |               | \$                            |
| Reserve 25266 (Bethany Farm)                                    |               | \$                            |
| Lot 78 Waterhatch Rd  |               | \$                            |
| Reserve 3788 Old Racecourse                                     |               | \$                            |
| Portion Reserve 5265A Old Commonage                             |               | \$                            |
| Portion Reserve 5265B Sand Pit                                  |               | \$                            |
| Portion Reserve 5265C Between Great Southern Hwy & Railway Line |               | \$                            |
| Portion Reserve 5265D Off Bremner Road                          |               | \$                            |

**COMMITTEE RESOLUTION**

**MCC2/1020**

**Moved Cr McLaughlin**

**Seconded Cr White**

**The Council award the following leases for a period of 3 years, 1 April 2021 to 31 March 2024 to:**

| <b>Lease</b>   | <b>Lessee</b>                 | <b>Yearly Rent<br/>Ex GST</b> |
|--|-------------------------------|-------------------------------|
| <b>Reserve 38798 Mt Kokeby</b>   | <b>CR &amp; J Ridgway</b>     | <b>\$9760.00</b>              |
| <b>Reserve 25266 (Bethany Farm)</b>  | <b>Roesland Farms</b>         | <b>\$3750.00</b>              |
| <b>Lot 78 Waterhatch Rd</b>  | <b>Beverley Football Club</b> | <b>\$1950.00</b>              |
| <b>Reserve 3788 Old Racecourse</b>   | <b>Beverley Tennis Club</b>   | <b>\$2000.00</b>              |
| <b>Portion Reserve 5265A Old<br/>Commonage</b>                                 | <b>Roesland Farms</b>         | <b>\$20,000.00</b>            |
| <b>Portion Reserve 5265B Sand Pit</b>  | <b>Roesland Farms</b>         | <b>\$7,000.00</b>             |
| <b>Portion Reserve 5265C Between Great<br/>Southern Hwy &amp; Railway Line</b> | <b>Roesland Farms</b>         | <b>\$4,300.00</b>             |
| <b>Portion Reserve 5265D Off Bremner<br/>Road</b>                              | <b>Bernard Hunt</b>           | <b>\$2,900.00</b>             |

**CARRIED 3/0**

**6. NEW BUSINESS ARISING BY ORDER OF THE MEETING**

Nil

**7. CLOSURE**

The Chairman declared the meeting closed at 10:17am

I hereby certify these Minutes as being confirmed in accordance with Section 5.22 of the Local Government Act 1995.

PRESIDING MEMBER:

DATE:

**MINUTES OF A MEETING OF THE SHIRE OF BEVERLEY BUSH  
FIRE ADVISORY COMMITTEE (BFAC) HELD IN THE BEVERLEY  
AMMENITIES BUILDING ON THURSDAY 13TH OCTOBER 2020  
COMMENCING AT 6.35PM**

**PRESENT:**

|                       |   |
|-----------------------|---|
| <b>Bill Cleland</b>   | Chief Bush Fire Control Officer         |
| <b>Deane Aynsley</b>  | Deputy Chief Bush Fire Control Officer  |
| <b>Rob Fisher</b>     | FCO Dale / Kokeby Brigade               |
| <b>Andrew Shaw</b>    | FCO Avondale BFB                        |
| <b>Paul Schilling</b> | FCO Dale West BFB                       |
| <b>Troy Granville</b> | FCO Community Emergency Service Manager |
| <b>Brett Shaw</b>     | FCO Beverley South East                 |
| Stephen Gollan        | CEO Shire of Beverley                   |
| Jack Barrett-Lennard  | Observer Dale Kokeby BFB                |
| Travis Boyle          | Captain Beverley VFRS                   |
| Justin Mann           | Captain Avondale BFB                    |
| Adam Smith            | Captain Beverley North East             |
| Peter Gogol           | Councilor, Shire of Beverley            |
| Don Davis             | President, Shire of Beverley            |

**APOLOGIES:**

|            |                         |
|------------|-------------------------|
| Ben Murray | FCO Beverley North East |
| Ric Smith  | FCO Beverley Central    |

**CONFIRMATION OF PREVIOUS MINUTES:**

**Moved: Brett Shaw**

**Seconded: Deane Aynsley**

**That the Minutes of the Fire Control Officers meeting held on the 16<sup>th</sup> March 2020 be confirmed.**

**CARRIED 7/0**

**MATTERS ARISING FROM MINUTES:**

A letter has been sent to the olive tree farming operation out in Dale Kokeby outlining the suggested requirements for the operation to be able to assist with firefighting efforts within their surrounding areas. A copy of the letter has also been sent to the CBFCA of the Shire of Brookton.

A discussion was held on the practice of dual transmitting radio comms whilst on a fireground across UHF channel 5 and WAERN channel 108. It was resolved that dual transmission of messages would not occur unless it was important information for the whole of the fireground.



**BRIGADE REPORTS:**

**Avondale:** Dale River fire at the end of last season involving many small hobby farmers. First fire the new season on Moultons old farm off Talbot West Road now owned by Edwards.

**Beverley North East:** NIL

**Beverley South East:** An escaped fire from the storm event that occurred at the end of last season. AGM well attended.

**Beverley Central:** Meeting to be held later this week

**Dale Kokeby:** Butchers Rd fire during the end of last season storm event.

**Dale West:** Fire at Ryan Hutchinson's and another fire at Williamson Road.

**BUSINESS OF THE MEETING:**

A discussion was held regarding the timing of the event dates for the Westdale Dirt Drags. The concern is over the event being held inside the Restricted Burning Times which is Gazetted to begin on the 3<sup>rd</sup> October each year within the Shire of Beverley and extends until 30<sup>th</sup> March the following year.

This year the event was held on Saturday 10<sup>th</sup> October. Although a Permit to Burn was issued for Saturday 10<sup>th</sup> October there were reports of a tree being lit on fire at the Westdale Dirt Drags site on Friday 9<sup>th</sup> October which was still burning days later. There was also a tyre fire that occurred on Sunday 11<sup>th</sup> October at the property.

Various reasons why the permissible dates should be more tightly controlled included that unauthorized fires lit during these events undermines the Shire of Beverley's fire control efforts and that the fire seasons are becoming more volatile far earlier due to changing climate and drought affected areas.

These discussions resulted in the following Motion...

**Moved: Rob Fisher**

**Seconded: Andrew Shaw**

**That permissible dates for Westdale Dirt Drags, Westdale Rock and other similar events cannot be approved during the Gazetted Restricted Burning Times of the Shire of Beverley.**

**CARRIED 7/0**

Discussions were held regarding the importance of effective communications amongst Fire Control Officers (FCO).

The Chief, Deputy and the CESM all have mobile phone signal boosters in their vehicles assisting with phone reception in Beverley's many mobile phone black spots.

These signal booster cost approximately \$1400 per vehicle but have proved effective in extending communications when they are desperately needed during fire emergencies.

This resulted in the following Motion...

**Moved: Bill Cleland**

**Seconded; Andrew Shaw**

**That Council investigate the supply and installation of Cel-Fi-GO mobile phone signal booster devices into every Fire Control Officers primary fire response vehicle.**

**CARRIED 7/0**

The Permit to Burn online application and approval process was discussed by the Community Emergency Services Manager (CESM).

He said that the current system is improving the ease at which applicants can apply however there needs to be more than one person capable of approving Permits so that some redundancy exists to ensure continuity of service should the CESM not be available to issue Permits.

Discussion was had regarding expanding the online system to make it even more efficient by creating an online hub for the FCO's to be able to log into and administer the process. Support was not strong for this concept as the FCO's said they would not log in to such a system on a daily basis and preferred to continue receiving emails. A request was made to place the Burn Location address in the subject field of the emails to make it easier for the FCO's to determine which Permits were in their area. The CESM has passed this request on to the Market Creations who are handling the online Permit to Burn system.

#### **GENERAL BUSINESS:**

The practice of posting Permit to Burn notifications to the local WhatsApp BFB group was discussed. The West Beverley BFB's endorse the practice whilst the East Beverley BFB's do not endorse the practice hence there will be a difference in conditions issued for east and west Permit to Burn applications.

A reminder to all farmers was requested to be sent out via the Shire's WhatsApp BFB groups reinforcing the Shire of Beverley Firebreak Order requirement for fire units to be present when machinery is operating in paddocks during Restricted Burning Times. This has been actioned by the CESM.

Two additional Fire Control Officers were requested to be added to the Shire of Beverley's Gazetted Fire Control Officers list resulting in the following motion...

**Moved: Andrew Shaw**

**Seconded: Rob Fisher**

**That Mr Justin Mann and Mr Adam Smith be Gazetted as Fire Control Officers for the Shire of Beverley.**

**CARRIED 7/0**

These two new Fire Control Officers will join the Fire Control Officers nominated and elected as recorded in the March 2020 BFAC minutes to be Gazetted as a block by the Shire of Beverley.

**NEXT MEETING:**

The next meeting is proposed to be set for a date in March 2021.

**CLOSURE:**

There being no further business the meeting closed at 8.15pm.

I hereby certify these Minutes as being confirmed in accordance with Section 5.22 of the Local Government Act 1995.

**Presiding Member**

**Date**



OUR REF: 2019/023  
ENQ: Tim Dolling  
DIRECT LINE: 08 9216 6094

19 October 2020

Mr Stefan de Beer  
Manager Planning and Development Services  
Shire of Beverley  
PO Box 20  
Beverley WA 6304

Dear Stefan

### **AMENDMENT TO DEVELOPMENT APPROVAL**

I refer to the development approval dated 26 November 2019 for the grain receival facility and extension of the Dale grain receival site.

A review of the project scope of work was undertaken resulting in the proposal to improve truck weighing, grain sampling and storage facilities to be undertaken within the existing site.

I request an amendment to the development approval under section 77(1)(c) of the Planning and Development (Local Planning Schemes) Regulations 2015.

Proposed development now includes the following:

- Construct a new section of internal road to connect existing internal roads.
- Remove the existing weighbridge and hut and sample platform/hut.
- Install a 36m long weighbridge and hut within the existing internal road.
- Install a slightly larger sample platform/hut within the existing and new internal road.
- Remove the 1.2m high wall frames from existing open bulkhead OBH/01.
- Cement stabilise a 2.2 m wide strip of gravel to 200 mm depth and compact where higher open bulkhead wall frames are to be placed.
- Install 1.8 m high wall frames in the same location of open bulkhead OBH/01 extending one end by 8 meters.

Please find attached the following documentation and drawings for assessment:

- Conceptual layout option 12 (site plan) drawing 432-ENG-CI-DCO-0002\_A.
- General arrangement drawings STD-051-0000-R3, 0007\_R0 and 0009\_R1 for the sample platform/hut.
- Open bulkhead wall frame drawings S119-ENG-ST-DGA-0003-R0 sheets 1 to 9 of 9.
- Section and details drawing S000-ENG-CI-STD-0002-R3 for cement stabilisation underneath the wall frames.
- Consultant's updated bushfire management plan.

If you require further information, please contact me on 08 9216 6094, 0439 969 835 or by email at [tim.dolling@cbh.com.au](mailto:tim.dolling@cbh.com.au).

Yours sincerely

**For: Co-operative Bulk Handling Limited**

A handwritten signature in black ink, appearing to read "Tim Dolling", is written over a light grey rectangular background.

**Tim Dolling**  
**Planning and Approvals Coordinator**

Enc

**Co-operative Bulk Handling Ltd**  
ABN 29 256 604 947  
Level 6, 240 St Georges Terrace  
Perth WA 6000 Australia  
GPO Box L886  
Perth WA 6842 Australia  
Telephone  
+61 8 9237 9600  
Grower Service Centre  
1800 199 083  
**cbh.com.au**





**DRAWING LEGEND**

- TRAFFIC MOVEMENTS - TRUCKS FULL
- TRAFFIC MOVEMENTS - TRUCKS EMPTY
- LOT BOUNDARIES
- CBH SITE BOUNDARY
- OHP --- OVERHEAD POWER LINES
- UGP --- UNDERGROUND POWER CABLES
- C --- UNDERGROUND COMMS CABLES
- UGW --- UNDERGROUND WATER PIPES
- PROPOSED OPEN DRAINAGE
- ⊕ VEGETATION
- CONTOURS - MAJOR
- CONTOURS - MINOR
- 255.0 CONTOUR LABELS

**STORAGE CAPACITIES**

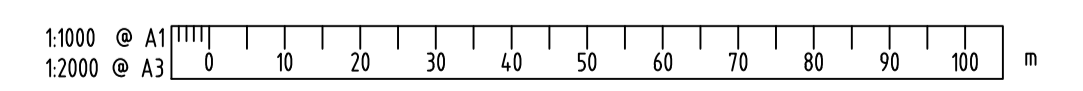
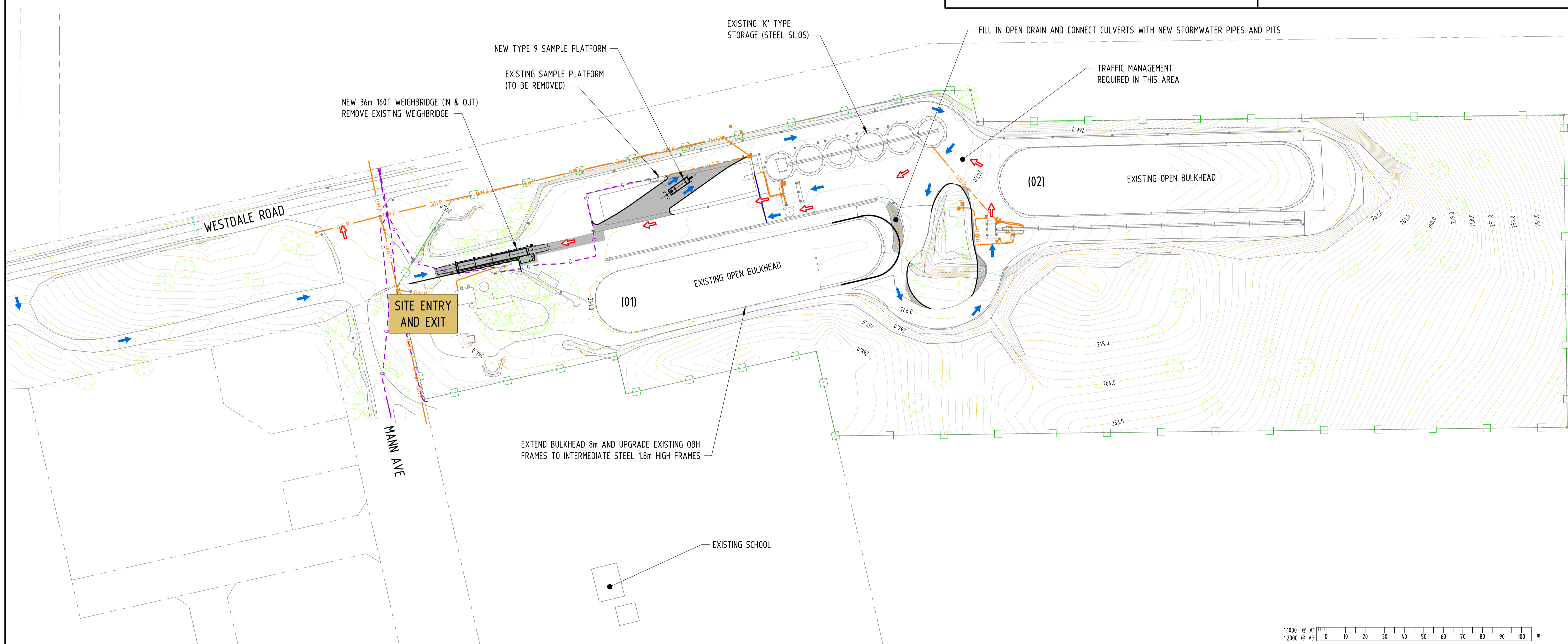
| EXISTING SITE STORAGE                |           |          |
|--------------------------------------|-----------|----------|
| 'K' TYPE STORAGE                     | (6 CELLS) | 7,500t   |
| LOW STEEL FRAME OBH                  | (01)      | 13,050t  |
| INT (1.8m) STEEL FRAME OBH           | (02)      | 19,320t  |
| TOTAL EXISTING STORAGE               |           | 39,870t  |
| PROPOSED SITE STORAGE                |           |          |
| INT (1.8m) STEEL FRAME OBH (UPGRADE) | (01)      | + 4,150t |
| TOTAL PROPOSED STORAGE               |           | 4,150t   |

**TOTAL SITE STORAGE 44,020t**

**TOTAL INCREASE IN STORAGE 4,150t**

**HATCHING LEGEND**

AREA OF NEW WORKS **1,450 m<sup>2</sup>**



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**CBH GROUP**  
LEVEL 6  
240 ST GEORGE'S TERRACE  
PERTH W.A. 6000  
PH (08) 9237 9600  
FAX (08) 9322 3942

| REF DRAWING No. | REFERENCE DRAWING TITLE | REV | DATE     | REVISION DESCRIPTION                 | BY | CHK'D | APP'D |
|-----------------|-------------------------|-----|----------|--------------------------------------|----|-------|-------|
| -               | -                       | A   | 30.07.20 | ISSUED AS CHECK PRINT AND FOR REVIEW | PF |       |       |

|              |        |              |            |      |          |
|--------------|--------|--------------|------------|------|----------|
| SCALE        | 1:1000 | DRAWN        | P. Forrest | DATE | 29.07.20 |
| SHEET        | A1     | CHECKED      |            |      |          |
| PROJECT      | M-2691 | DESIGNED     |            |      |          |
| CONTRACT No. |        | DESIGN APPR  |            |      |          |
|              |        | PROJECT APPR |            |      |          |

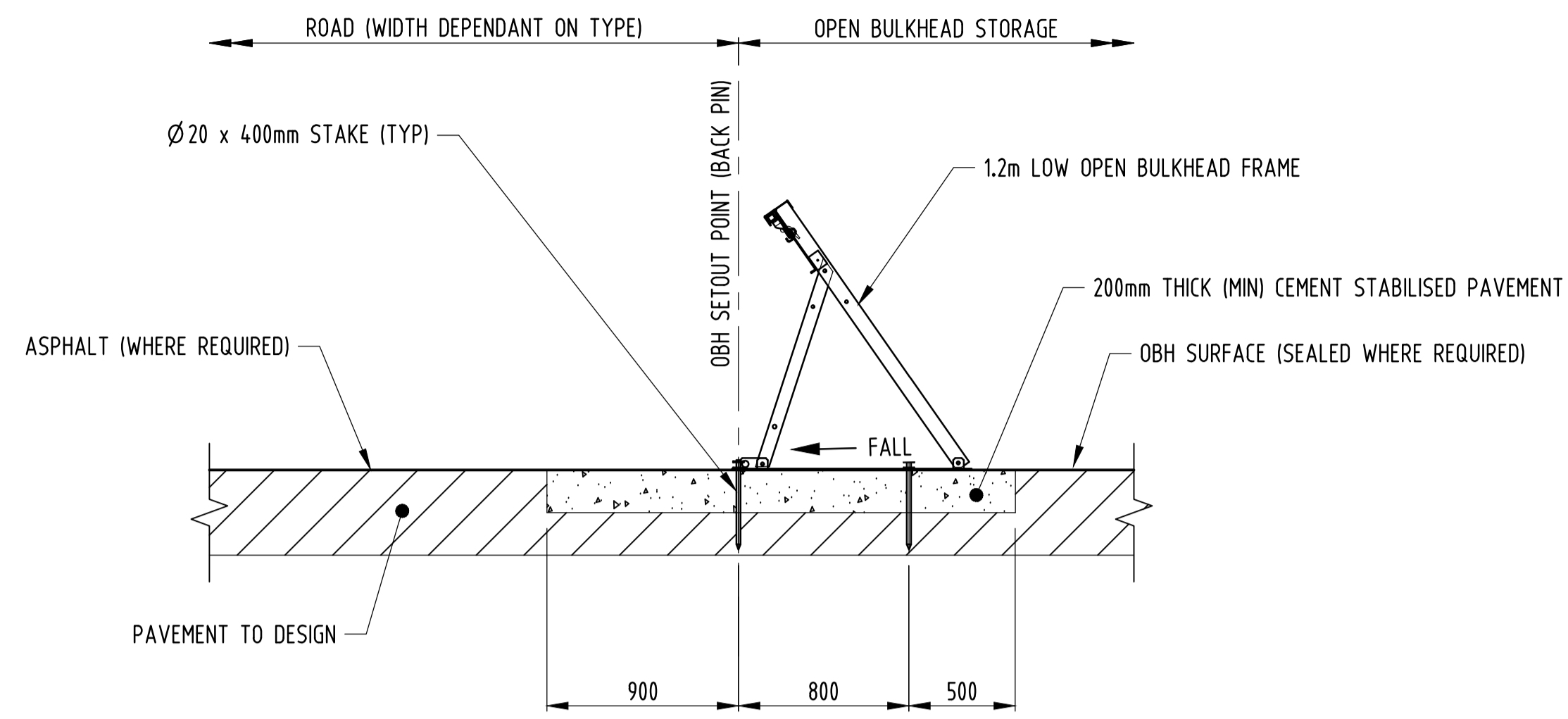
|         |  |       |        |
|---------|--|-------|--------|
| TITLE   | DALE<br>SITE DEVELOPMENT<br>M/S/W IMPROVEMENTS & ADDITIONAL STORAGE<br>CONCEPTUAL LAYOUT - OPTION No. 12 |       |        |
| DRG No. | 432-ENG-CI-DCO-0002  | SHEET | 1 OF 1 |
| REV.    |  |       | A      |

DO NOT SCALE FROM THIS DRAWING

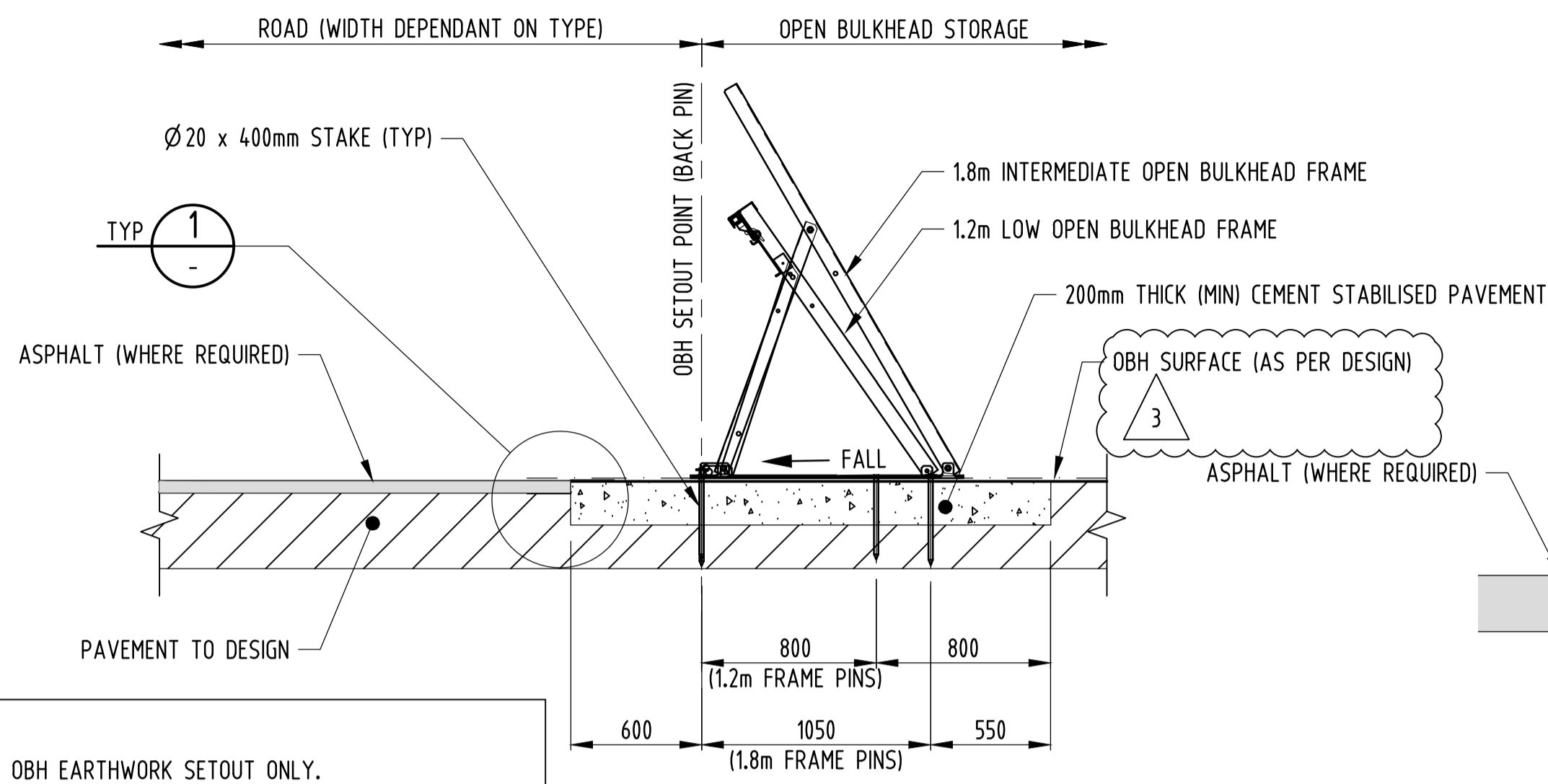


**GENERAL NOTES**

1. THIS DRAWING IS ISSUED AS A GUIDE ONLY FOR THE PURPOSE OF DESIGN.
2. FOR DETAIL DESIGN CRITERIA PLEASE REFER TO CBH TS10A - DESIGN SPECIFICATION, CIVIL EARTHWORKS, ROADS & DRAINAGE, AND PROJECT SPECIFIC DATA SHEET.

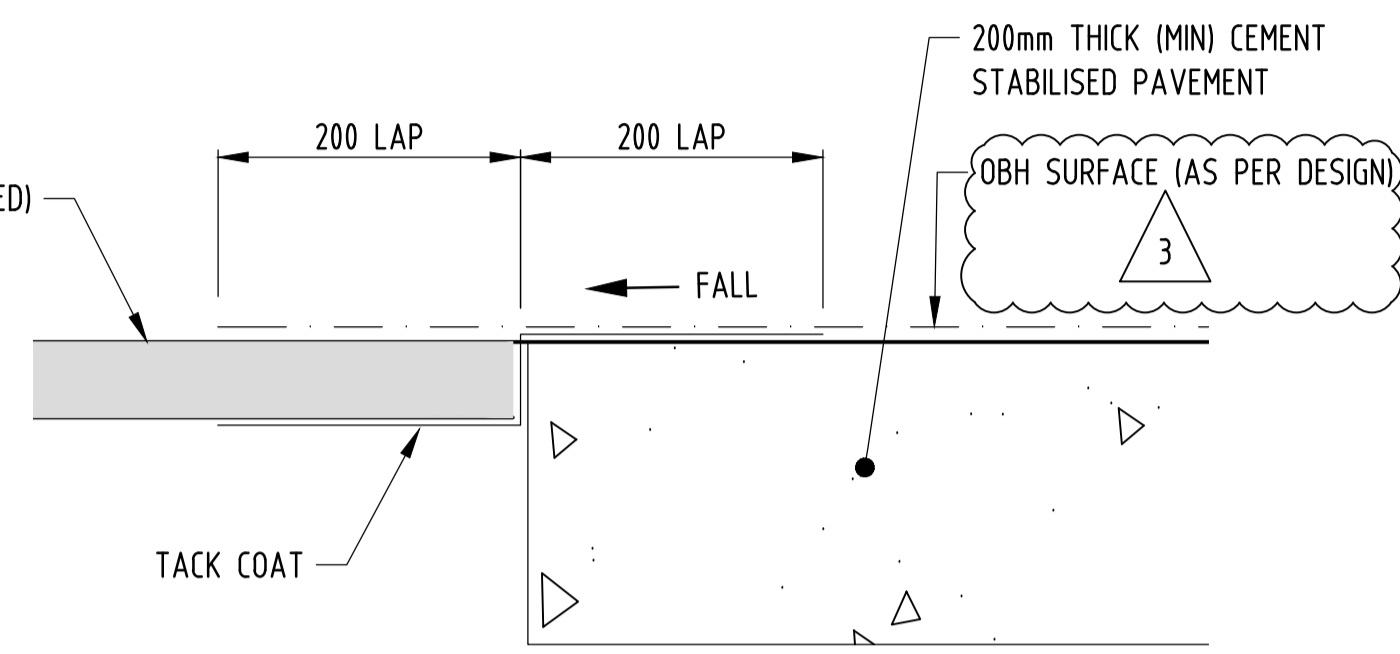


**EXISTING LOW OBH FRAME SECTION**  
1:25  
S000-ENG-CI-STD-0001

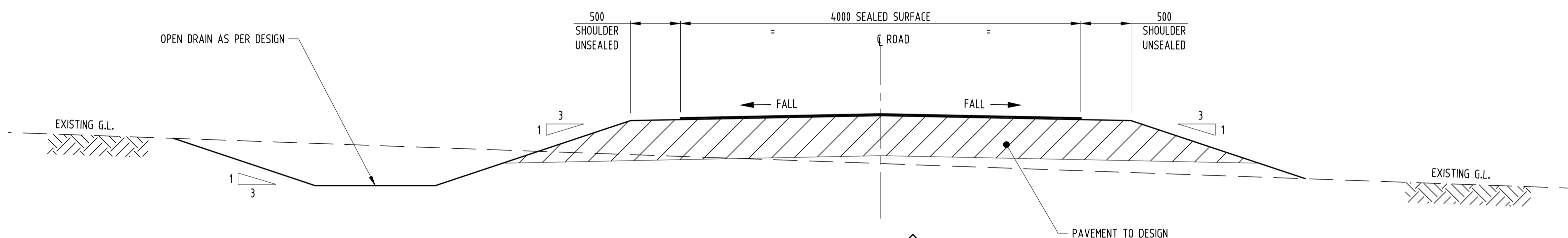


**NOTE:**  
1. FOR NEW OBH EARTHWORK SETOUT ONLY.  
2. WHEN REPLACING EXISTING LOW FRAMED OBH WITH 1.8 FRAMES, BACK PIN SETOUT AS PER EXISTING LOW OBH FRAME SECTION.

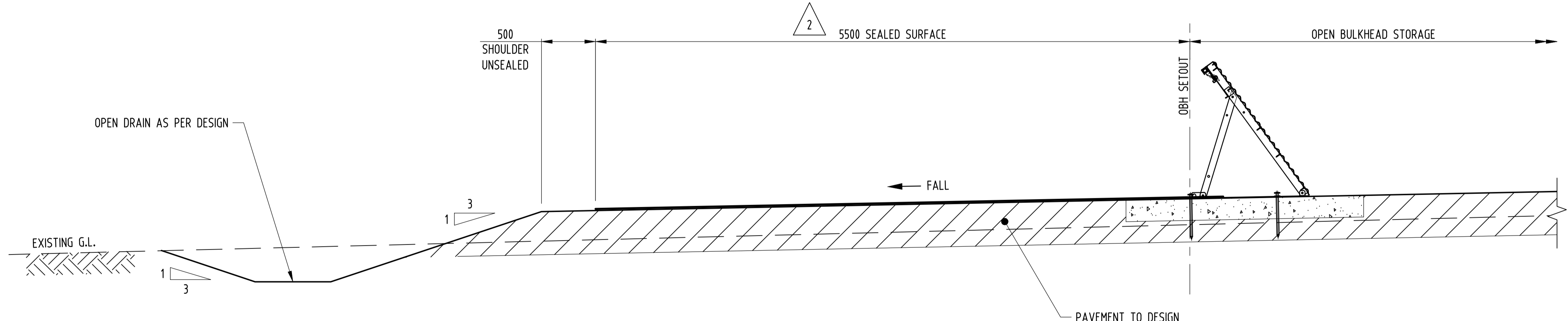
**NEW 1.2m & 1.8m FRAME OBH FRAME SECTION**  
1:25  
S000-ENG-CI-STD-0001



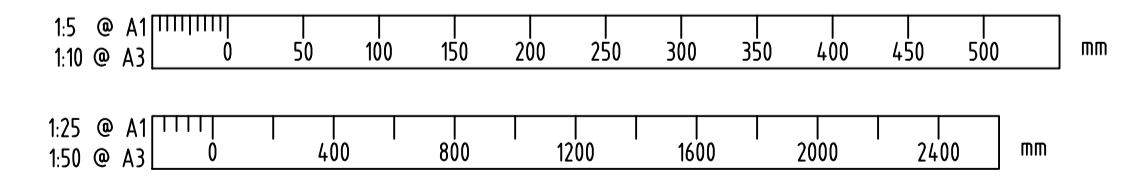
**DETAIL 1 TYP**  
1:5



**TYPICAL HAUL ROAD SECTION**  
1:25  
S000-ENG-CI-STD-0001



**TYPICAL ACCESS/OUTLOADING ROAD SECTION**  
1:25  
S000-ENG-CI-STD-0001



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**CBH GROUP**  
LEVEL 6  
240 ST GEORGE'S TERRACE  
PERTH W.A. 6000  
PH (08) 9237 9600  
FAX (08) 9322 3942

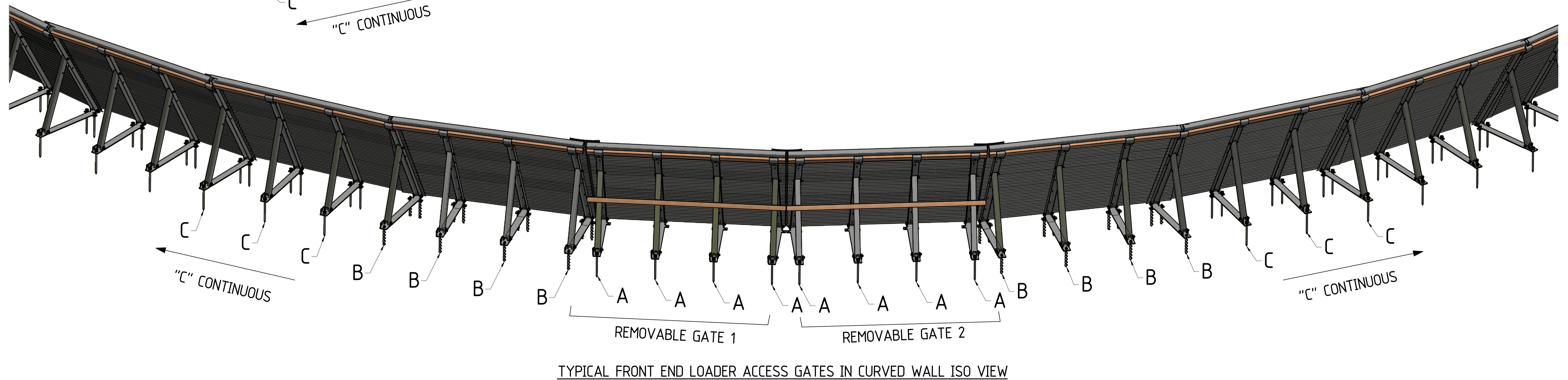
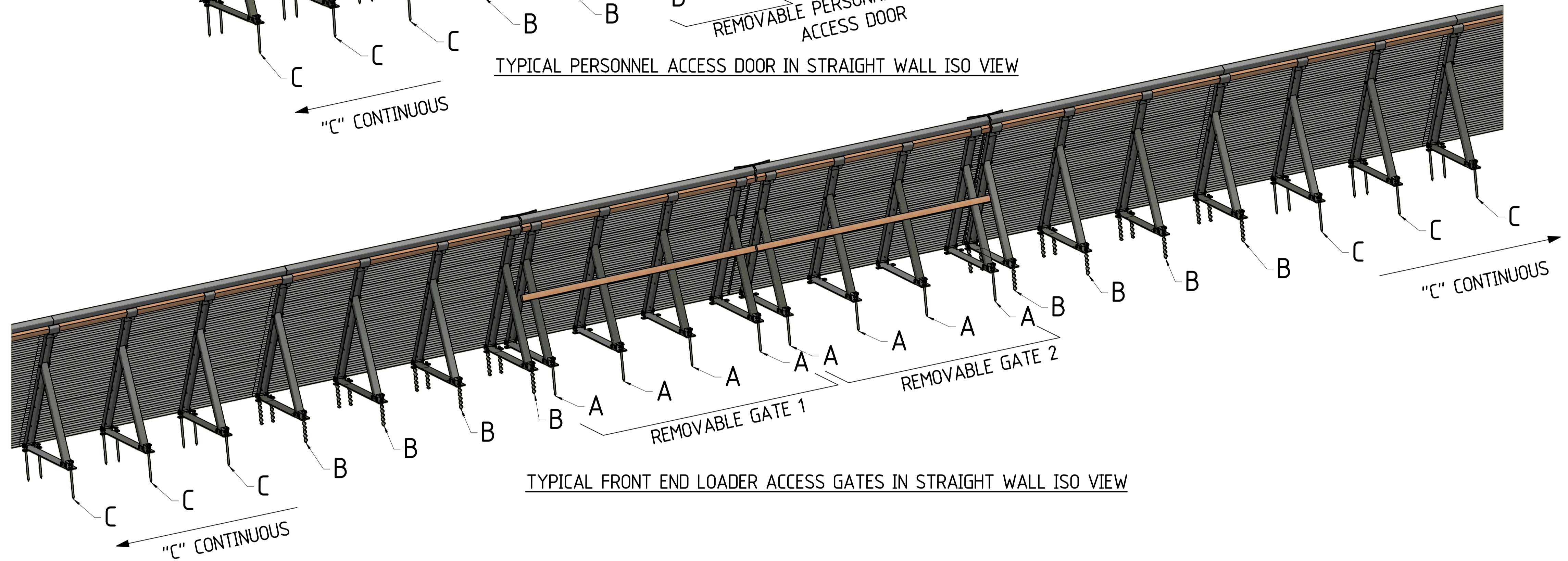
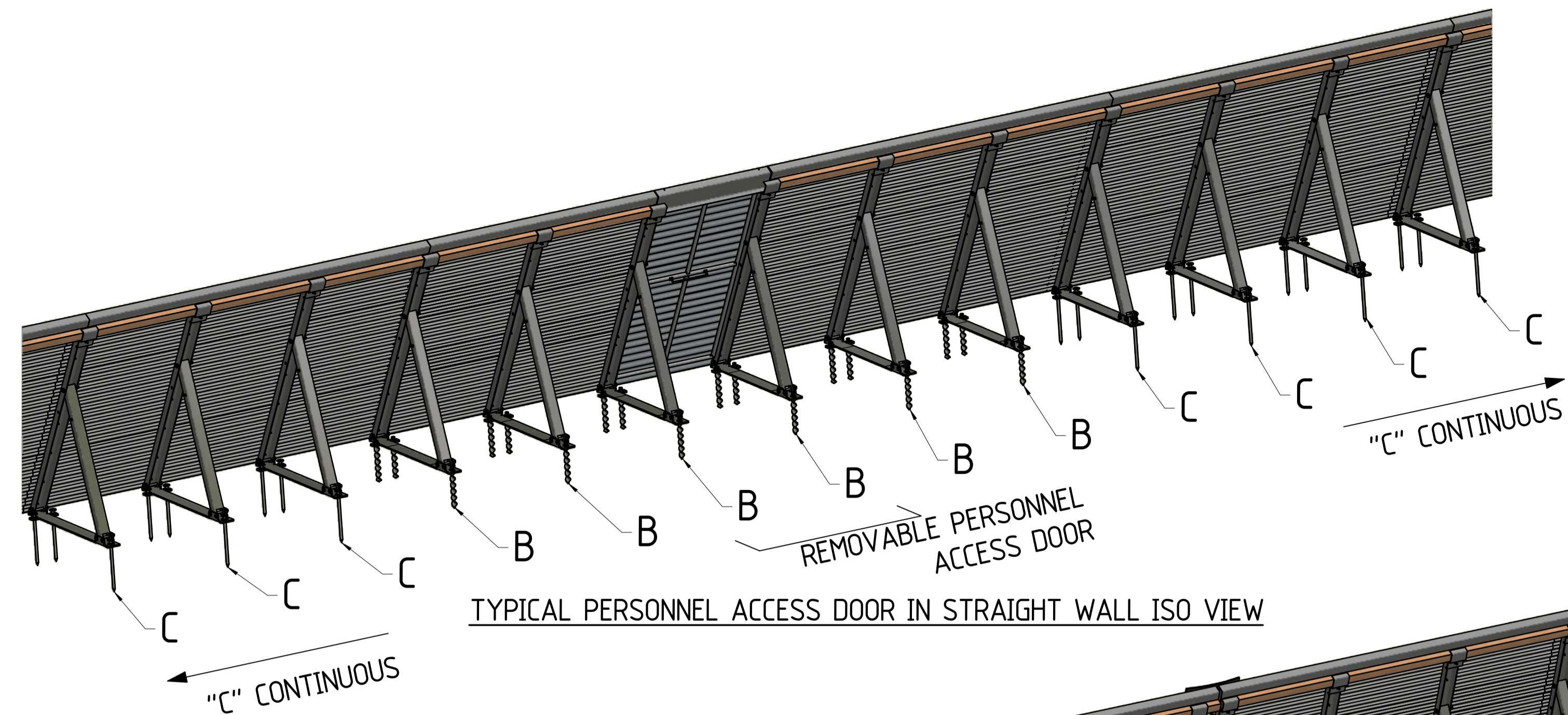
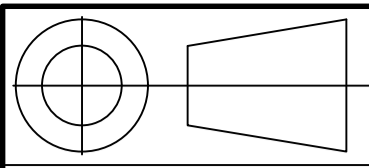
| REF DRAWING No.      | REFERENCE DRAWING TITLE                           | REV | DATE     | REVISION DESCRIPTION                           | BY | CHK'D | APP'D |
|----------------------|---|-----|----------|--|----|-------|-------|
|                      |   | 3   | 26.11.19 | OBH 2 COAT SEAL NOTE REMOVED                   | JB | YKY   | NH    |
| STD-002-0002         | ROAD & RAIL - TYPICAL SECTIONS & DETAILS          | 2   | 16.01.19 | DIMENSION REVISED                              | JB | YKY   | NH    |
| STD-002-1001         | SITE ACCESS ROADS - TYPICAL SECTIONS & DETAILS    | 1   | 19.11.18 | REVISED AS PER SQUAD CHECK & RE-ISSUED FOR USE | JB | YKY   | NH    |
| S000-ENG-CI-STD-0001 | TYPICAL GRAIN RECEIVAL SITE LAYOUT - DESIGN GUIDE | 0   | 15.10.18 | ISSUED FOR USE                                 | JB | YKY   | NH    |

| SCALE    | DRAWN      | PROJECT | PROJECT APPR |
|----------|------------|---------|--------------|
| AS SHOWN | P. Forrest |         |              |
| A1       | YK. Yip    |         |              |
| TYPICAL  | N. Harding |         |              |

| TITLE  | DATE     | ORG No | SHEET  | REV. |
|--|----------|--------|--------|------|
| CIVIL TYPICAL DRAWINGS<br>EARTHWORKS AND ROADS<br>TYPICAL GRAIN RECEIVAL SITE LAYOUT<br>SECTIONS AND DETAILS | 04.10.10 |        |        |      |
| S000-ENG-CI-STD-0002   | 28.11.18 |        | 1 OF 1 | 3    |







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LEVEL 6, 240 ST GEORGES TERRACE,  
PERTH W.A 6000  
PH (08) 9237 9600 FAX (08) 9322 3942

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|             |                         |     |      |           |    |     |     |     |      |           |    |     |     |     |      |           |

|          |                |
|----------|----------------|
| DRAWN    | SCR 10/06/2020 |
| CHECKED  | LS 10/06/2020  |
| ENGINEER | BC 11/06/2020  |
| APPROVED | NH 11/06/2020  |

DRAWING TITLE  
1.8m OPEN BULK HEAD  
GENERAL ARRANGEMENT  
ANCHORINGS LAYOUT

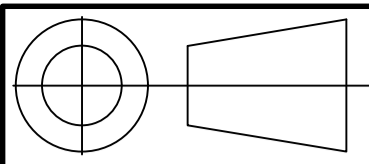
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|------------|----------------------|-------|--------|
| SITE       | VARIOUS              | SIZE  | A1     |
| PROJECT    | STANDARD             |       |        |
| DRAWING No | S119-ENG-ST-DGA-0003 | SHEET | 2 OF 9 |
| REV.       | 0                    |       |        |

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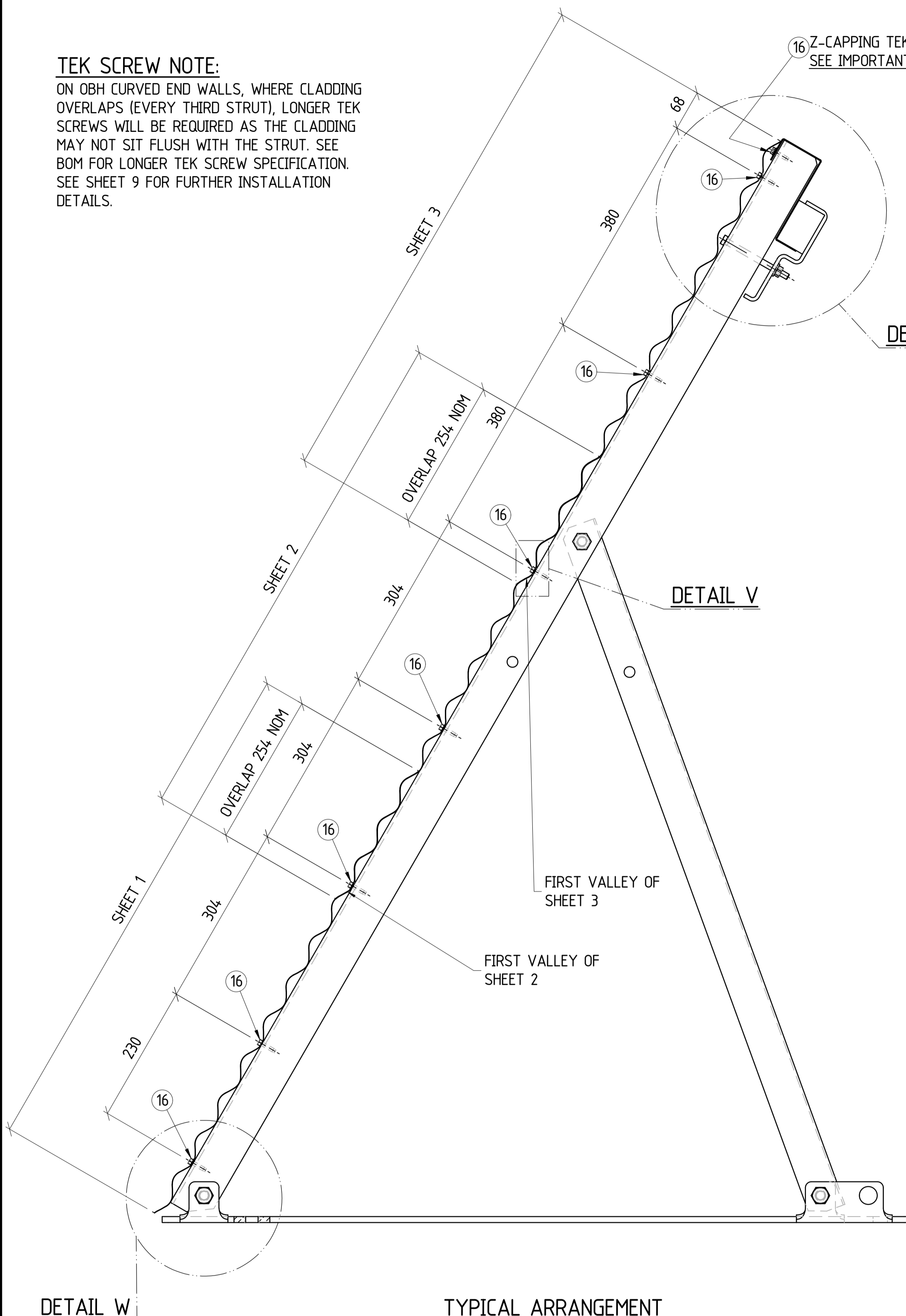






**TEK SCREW NOTE:**

ON OBH CURVED END WALLS, WHERE CLADDING OVERLAPS (EVERY THIRD STRUT), LONGER TEK SCREWS WILL BE REQUIRED AS THE CLADDING MAY NOT SIT FLUSH WITH THE STRUT. SEE BOM FOR LONGER TEK SCREW SPECIFICATION. SEE SHEET 9 FOR FURTHER INSTALLATION DETAILS.



16 Z-CAPPING TEK SCREW  
SEE IMPORTANT NOTES

DETAIL T

DETAIL V

VIEW-AM

VIEW-AM

DETAIL T

TOE DOWN  
TOP EDGE OF THE SHEET  
TO SIT ABOVE TEK SCREW

5 MIN.  
10 MAX.

PLACE THE BOTTOM TEK SCREW  
IN THE SECOND CORRUGATION  
AS THIS WILL ALLOW THE  
WEIGHT OF THE GRAIN TO  
'STRETCH' THE CLADDING  
AND CLOSE THE BOTTOM GAP  
WHILE GRAIN IS IN STORAGE

TOE UP

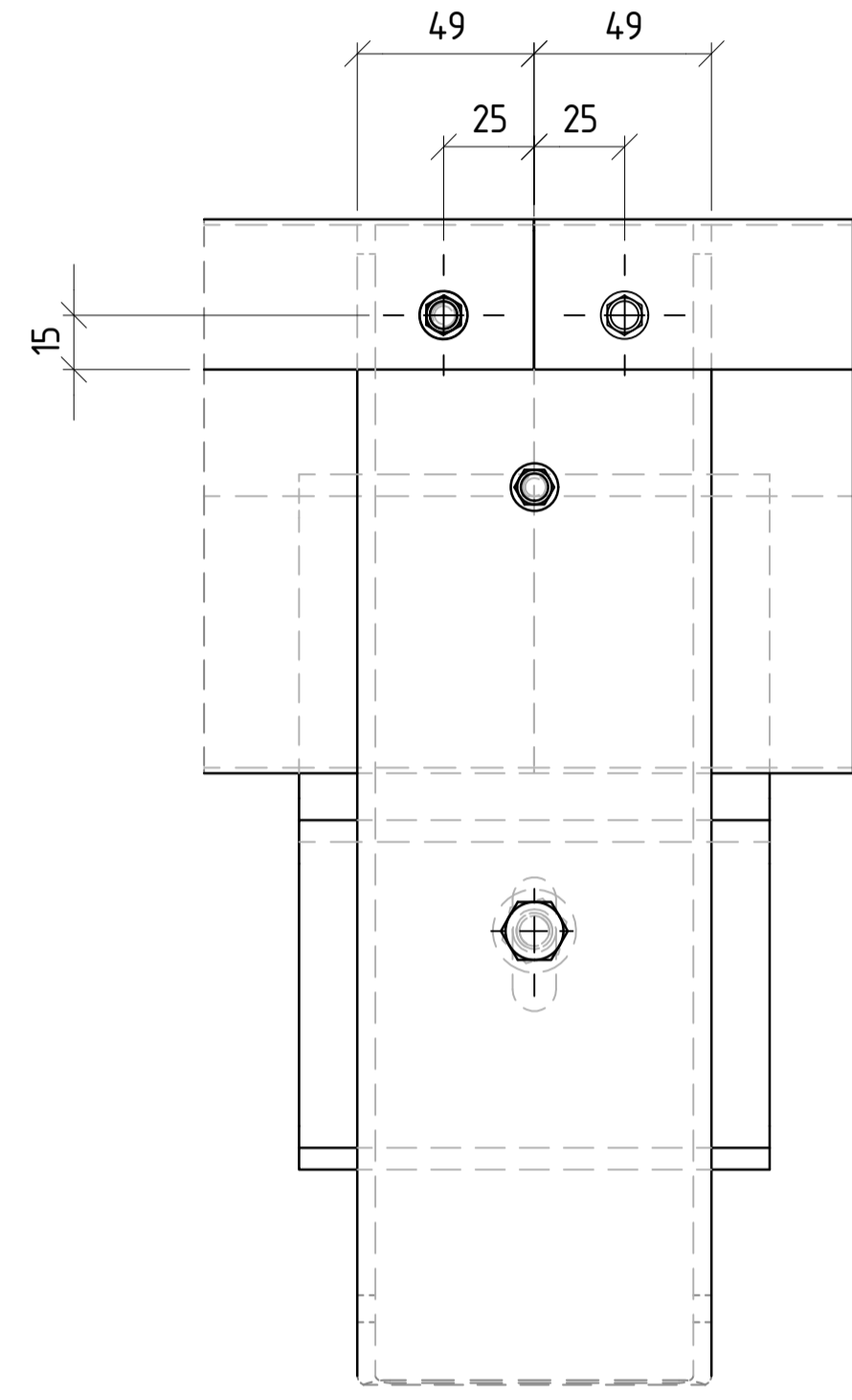
16 MAX.  
10 MIN.

DETAIL W

**IMPORTANT NOTE:**

TYPICAL ALL JOINTS, EXCEPT DOOR/GATE JOINTS:

- 'Z' CAPPING SHALL BUTT JOIN TO THE CENTRE LINE OF THE STRUT.
- ALL Z CAPPING MUST BE ALIGNED AS ACCURATELY AS POSSIBLE. ANY MIS-ALIGNMENT IN THE 'Z' CAPPING WILL CREATE SHARP EDGES, WHICH MAY DAMAGE THE OBH TARP. MAXIMUM 'Z' CAPPING MISALIGNMENT TO BE 2mm IN ALL DIRECTIONS.
- WHERE 'Z' CAPPING BUTT JOINS OVER A STRUT, FIX 'Z' CAP WITH 2 x TEK SCREWS, ONE IN EACH 'Z' CAP (SHOWN BELOW)
- WHERE 'Z' CAPPING PASSES OVER A STRUT, FIX 'Z' CAP WITH 1 x TEK SCREW, INLINE WITH THE CENTRE OF THE STRUT.



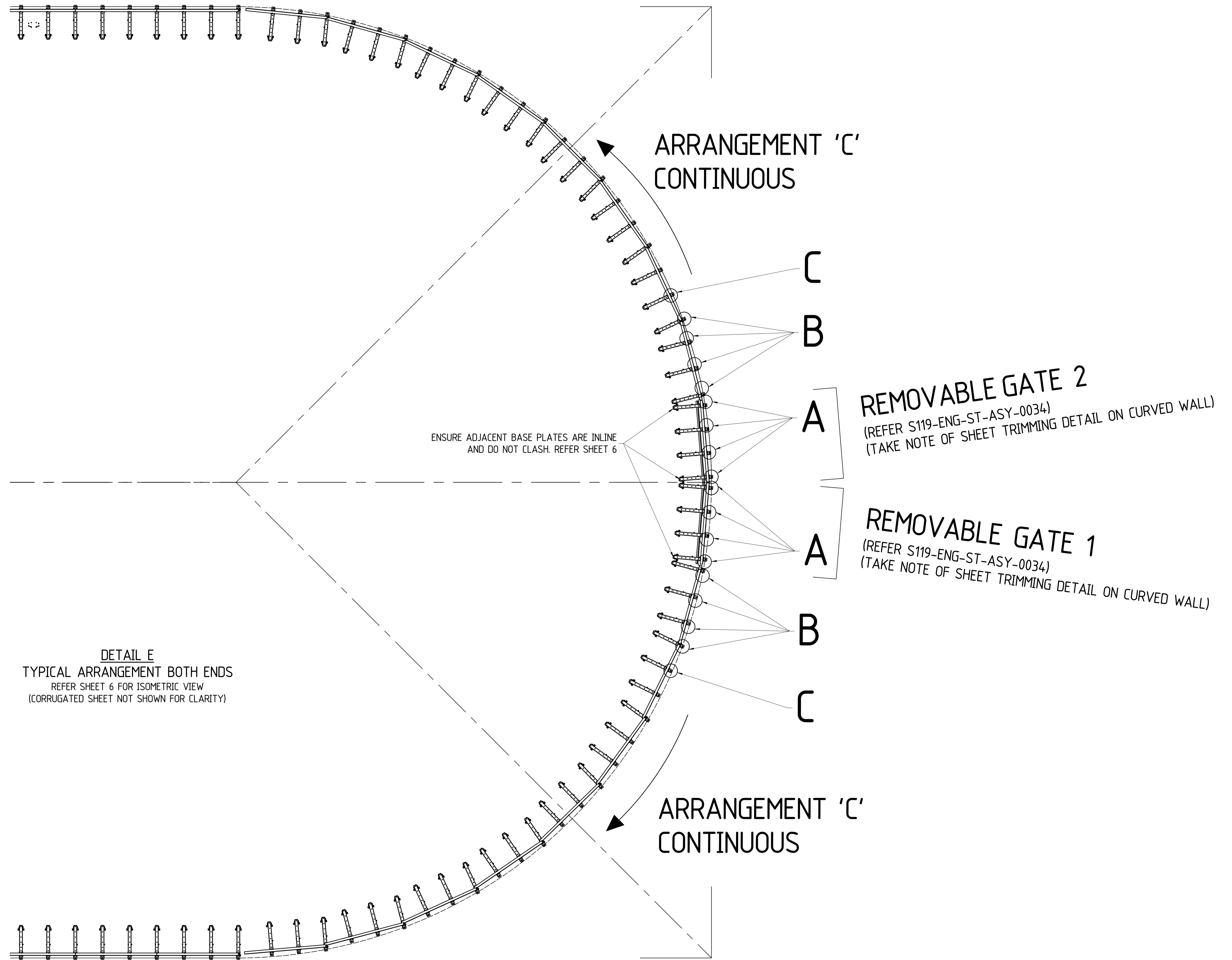
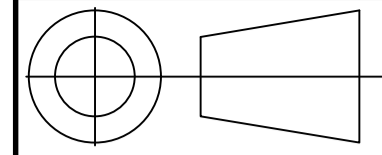
VIEW-AM  
(CLADDING NOT SHOWN FOR CLARITY)

- SHEET 2 & 3 OVERLAP - TEK SCREW TO BE FIXED IN THE FIRST VALLEY OF SHEET 3
- SHEET 1 & 2 OVERLAP - TEK SCREW TO BE FIXED IN THE FIRST VALLEY OF SHEET 2

SHEET 3 ON TOP OF SHEET 2  
SHEET 2 ON TOP OF SHEET 1

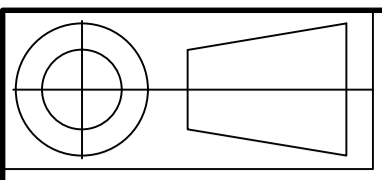
DETAIL V  
SHEET OVERLAP  
(STRUT NOT SHOWN FOR CLARITY)

|   |  |   |             |                         |          |           |                     |           |                                   |                     |                                    |                      |   |                 |            |
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|   |  | DO NOT SCALE FROM THIS DRAWING  | REF ORG No. | REFERENCE DRAWING TITLE | REV DATE | REVISIONS | BY CHK APP REV DATE | REVISIONS | BY CHK APP APPROVED NH 11/06/2020 | PROJECT<br>STANDARD | DRAWING No<br>S119-ENG-ST-DGA-0003 | SHEET<br>4 OF 9      |   | REV.<br>0       |            |



|  |  |  |             |                         |          |           |            |          |           |            |                        |   |           |   |  |                        |                            |   |                        |                  |
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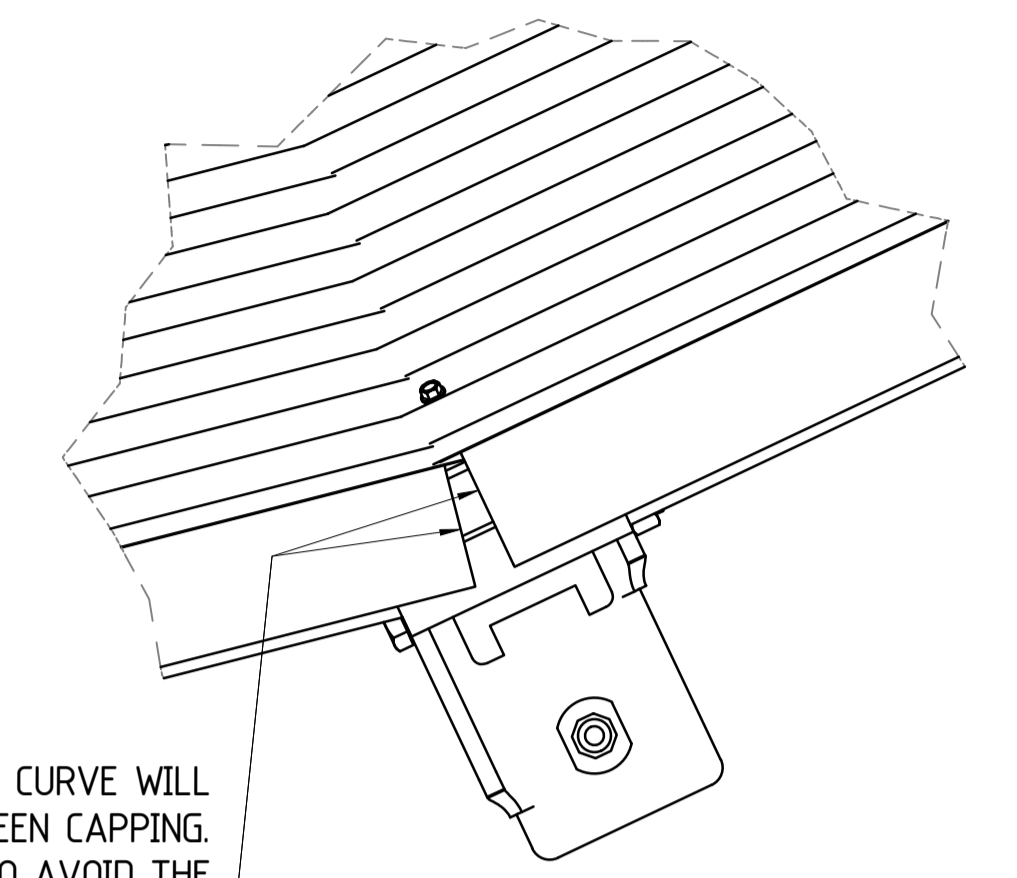
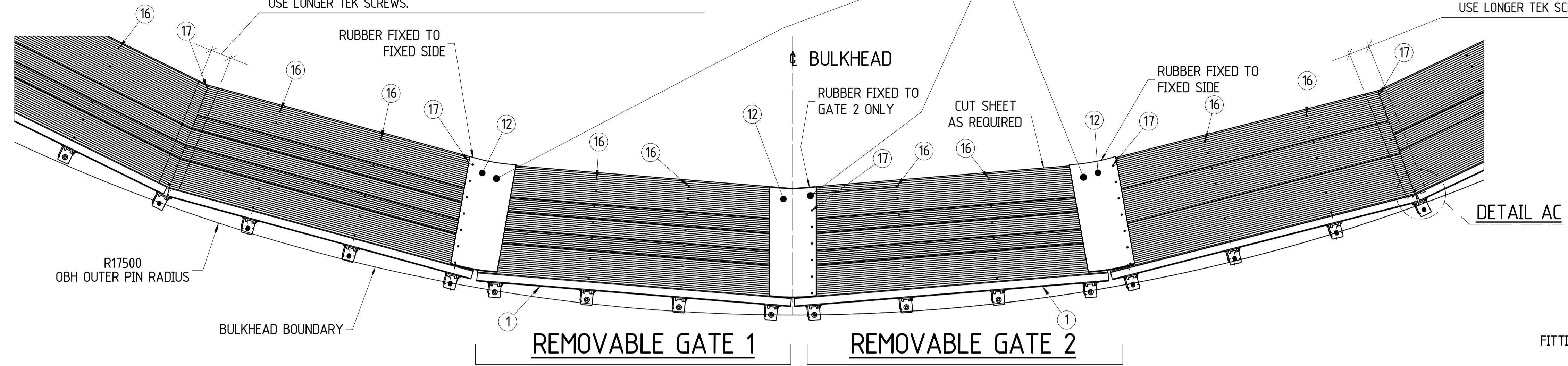


- 200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT
- TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINS
- ON CURVED ENDS, WHERE CLADDING OVERLAPS, USE LONGER TEK SCREWS.

**TYPICAL RUBBER FIXINGS, BOTH ENDS**

- ATTACH CONVEYOR BELT OVER JOINTS (SEE BOM FOR BELT DETAILS)
- FIX RUBBER USING 45MM LONG TEK SCREWS, USING 7 TEK SCREWS PER RUBBER STRIP

- 200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT
- TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINS
- ON CURVED ENDS, WHERE CLADDING OVERLAPS, USE LONGER TEK SCREWS.



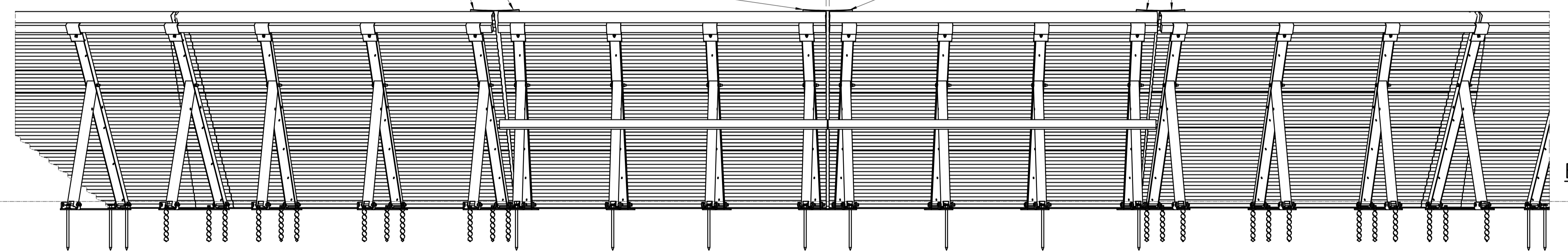
FITTING THE Z-CAPPING TO A CURVE WILL CREATE A GAP BETWEEN CAPPING. MINIMISE GAP AS MUCH AS POSSIBLE TO AVOID THE SHARP EDGES RIPPING THE OBH TARP. VERTICAL AND HORIZONTAL MISALIGNMENT SHOULD BE A MAXIMUM OF 2MM.

CLADDING, Z-CAPPING AND WOOD, ALL TRIMMED TO SUIT ON BOTH SIDES TO CREATE A BUTT JOIN BETWEEN THE FIXED WALL AND THE REMOVABLE GATE. REFER S119-ENG-ST-ASY-0003 FOR CLADDING TRIMMING DETAIL. MAX ALLOWABLE GAP BETWEEN BUTT JOINTS IS 20mm - TYPICAL ALL GATES

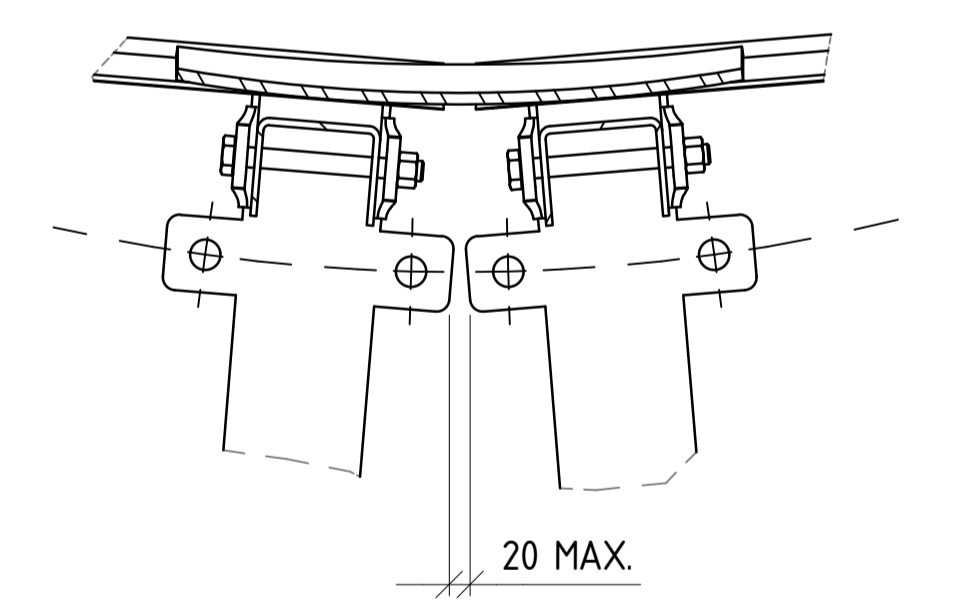
**DETAIL A**  
FRONT END LOADER ACCESS GATES IN CURVED WALL  
TYPICAL BOTH ENDS

CLADDING, Z-CAPPING AND WOOD, ALL TRIMMED TO SUIT ON BOTH SIDES TO CREATE A BUTT JOIN BETWEEN THE FIXED WALL AND THE REMOVABLE GATE. REFER S119-ENG-ST-ASY-0003 FOR CLADDING TRIMMING DETAIL. MAX ALLOWABLE GAP BETWEEN BUTT JOINTS IS 20mm - TYPICAL ALL GATES

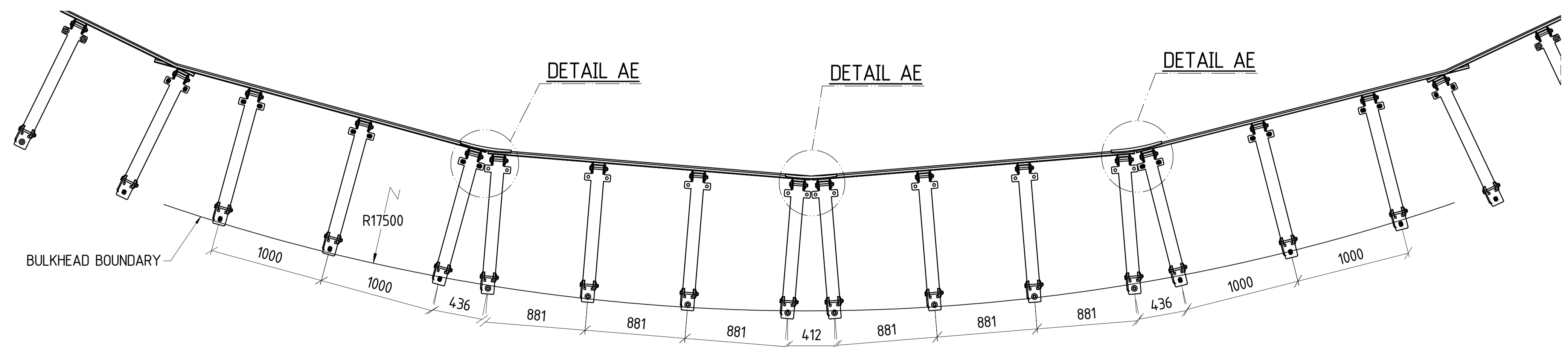
20 MAX. GAP  
TYPICAL ALL ACCESS WAYS



**ELEVATION**



**DETAIL AE**  
TYPICAL STRUT FOOT ALIGNMENT AT GATE JOINS  
(PINS NOT SHOWN FOR CLARITY)



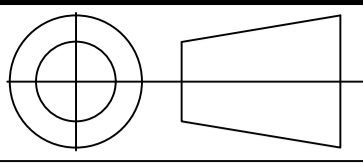
**SECTION B**  
FRAMES FOOT PRINT

|  |  |   |             |   |     |      |           |    |     |     |     |      |           |   |   |                        |                            |   |                        |                      |
|--|--|---|-------------|---|-----|------|-----------|----|-----|-----|-----|------|-----------|---|---|------------------------|----------------------------|---|------------------------|----------------------|
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|  |  | DO NOT SCALE FROM THIS DRAWING  | REF DRG No. | REFERENCE DRAWING TITLE                                 | REV | DATE | REVISIONS | BY | CHK | APP | REV | DATE | REVISIONS | BY  | CHK   | APP                    | APPROVED                   | NH  | 11/06/2020             | S119-ENG-ST-DGA-0003 |



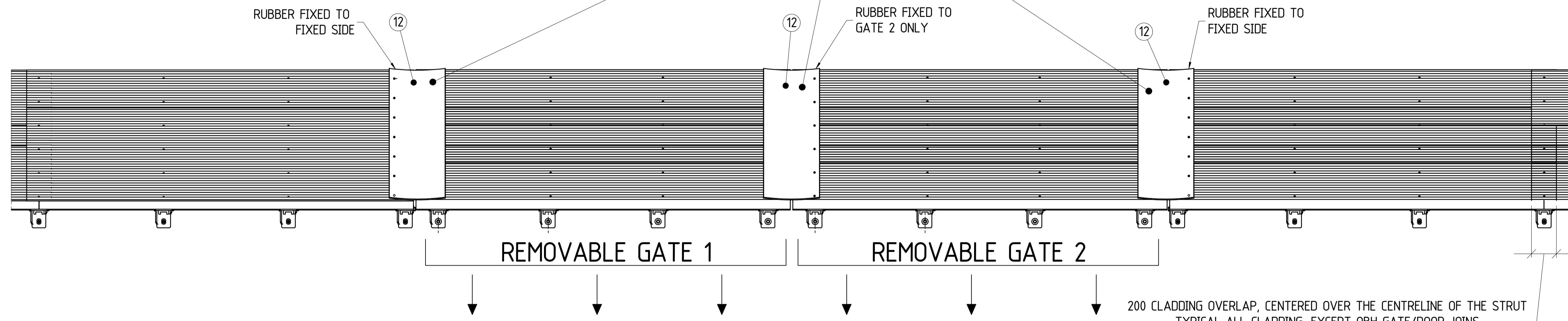






**TYPICAL RUBBER FIXINGS, BOTH ENDS**

- ATTACH CONVEYOR BELT OVER JOINTS (SEE BOM FOR BELT DETAILS)
- FIX RUBBER USING 45MM LONG TEK SCREWS, USING 7 TEK SCREWS PER RUBBER STRIP

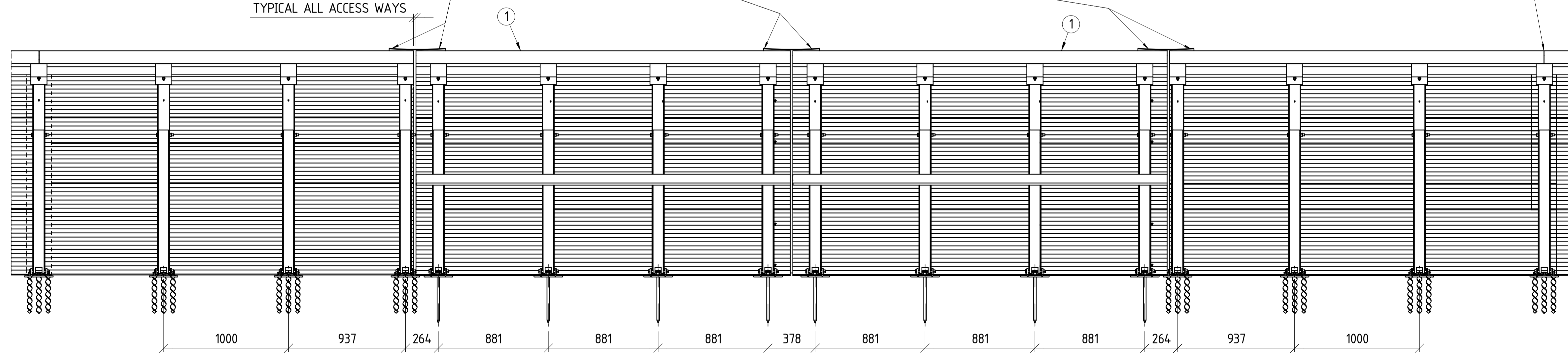


**DETAIL C  
FRONT END LOADER ACCESS GATES IN STRAIGHT WALL  
TYPICAL BOTH SIDES**

CLADDING, Z-CAPPING AND WOOD, ALL TRIMMED TO SUIT ON BOTH SIDES TO CREATE A BUTT JOIN BETWEEN THE FIXED WALL AND THE REMOVABLE GATE. REFER S119-END-ST-ASY-0003 FOR CLADDING TRIMMING DETAIL. MAX ALLOWABLE GAP BETWEEN BUTT JOINTS IS 20MM - TYPICAL ALL GATES

Z-CAPPING MUST BE NEATLY BUTT JOINED AND ALIGNED IN ALL DIRECTIONS TO ENSURE THAT THERE ARE NO SHARP EDGES WHICH COULD PUNCTURE THE OBH TARP. MAX MISALIGNMENT OF 2MM IN ALL DIRECTIONS. TYPICAL ALL JOINTS EXCEPT AT OBH DOOR/GATE JOINTS.

20 MAX. GAP  
TYPICAL ALL ACCESS WAYS



**ELEVATION**

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CBH GROUP HEAD OFFICE  
LEVEL 6, 240 ST GEORGES TERRACE,  
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PH (08) 9237 9600 FAX (08) 9322 3942

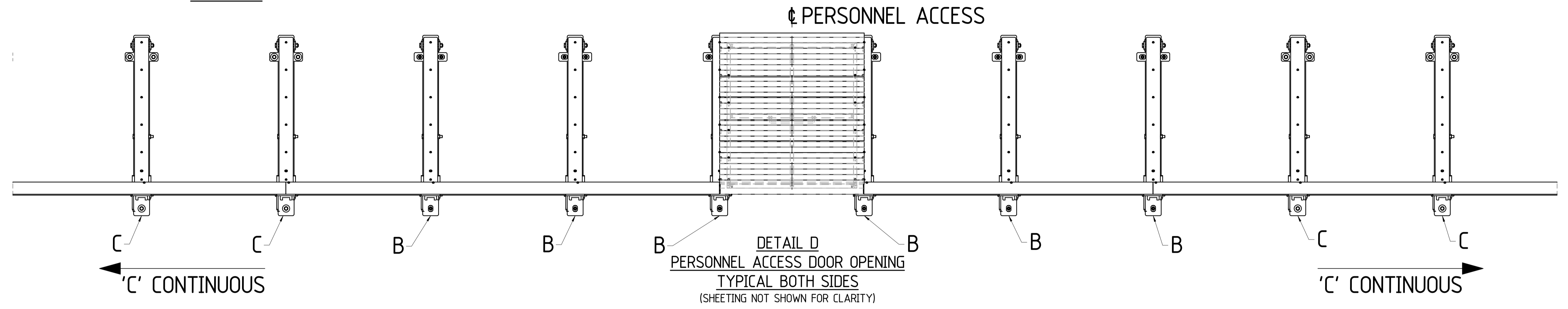
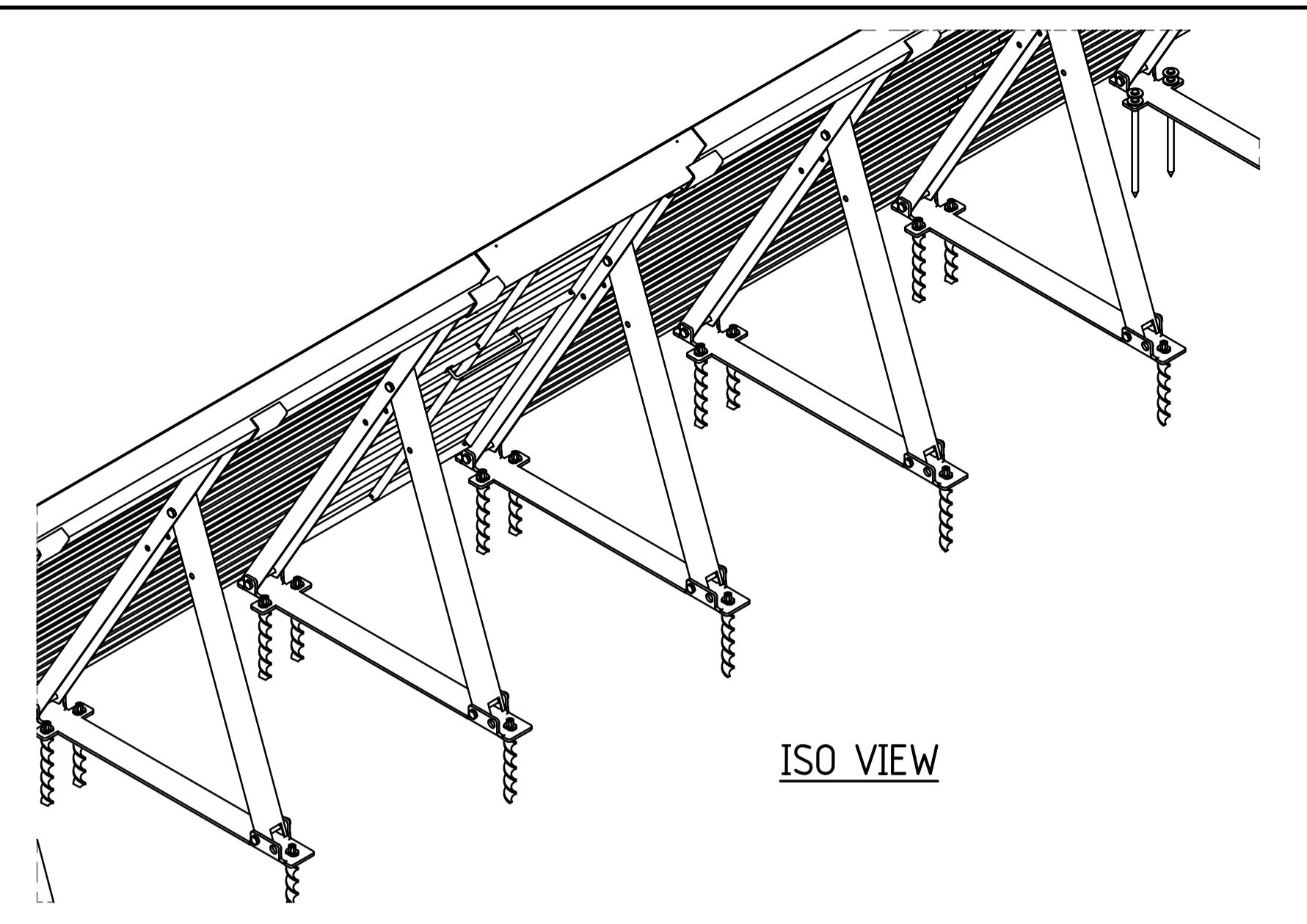
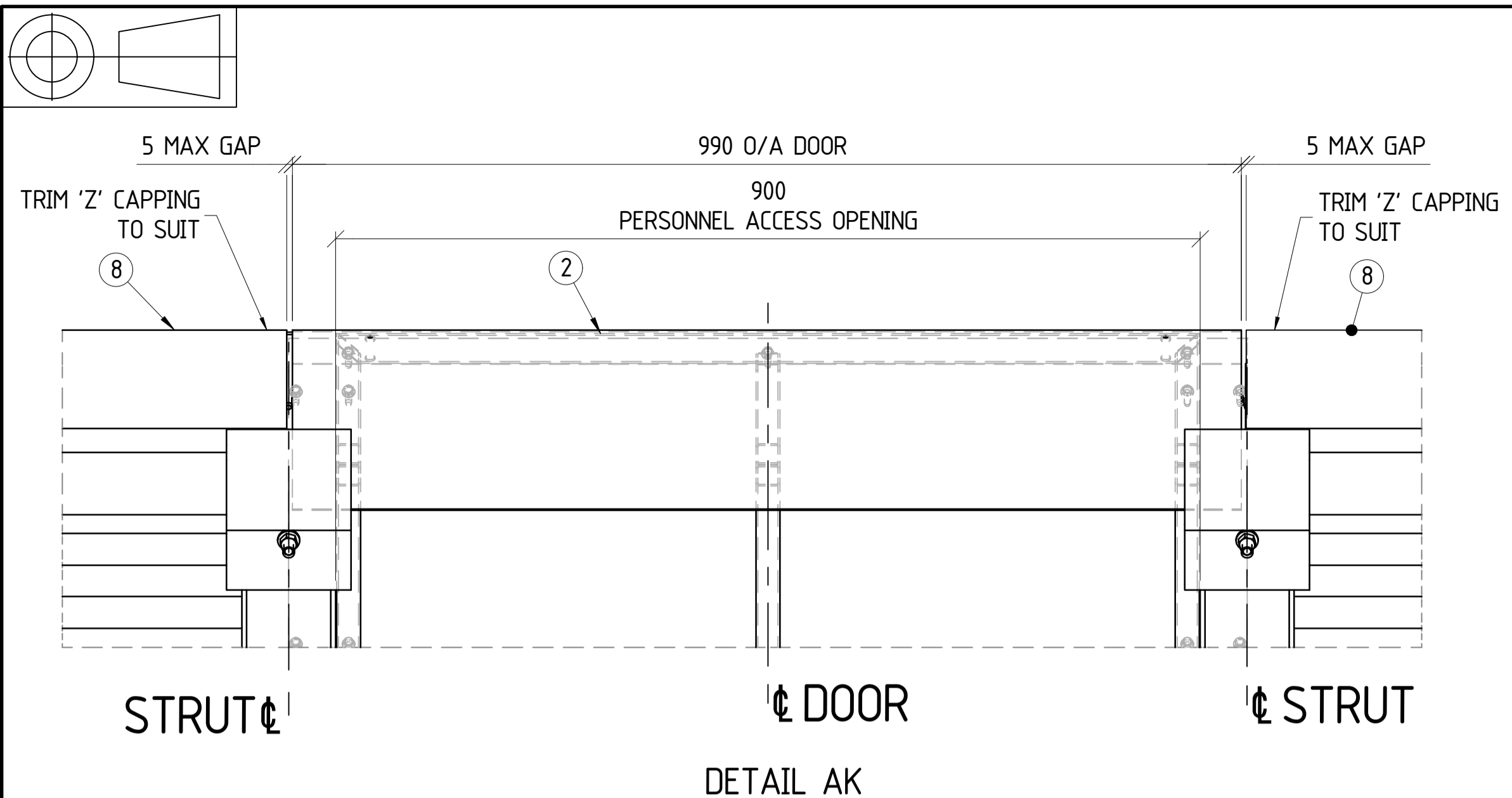
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|-------------|-------------------------|-----|------------|--|-----|-----|-----|-----|------|-----------|----|-----|-----|----------|
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|          |     |            |
|----------|-----|------------|
| DRAWN    | SCR | 10/06/2020 |
| CHECKED  | LS  | 10/06/2020 |
| ENGINEER | BC  | 11/06/2020 |
| APPROVED | NH  | 11/06/2020 |

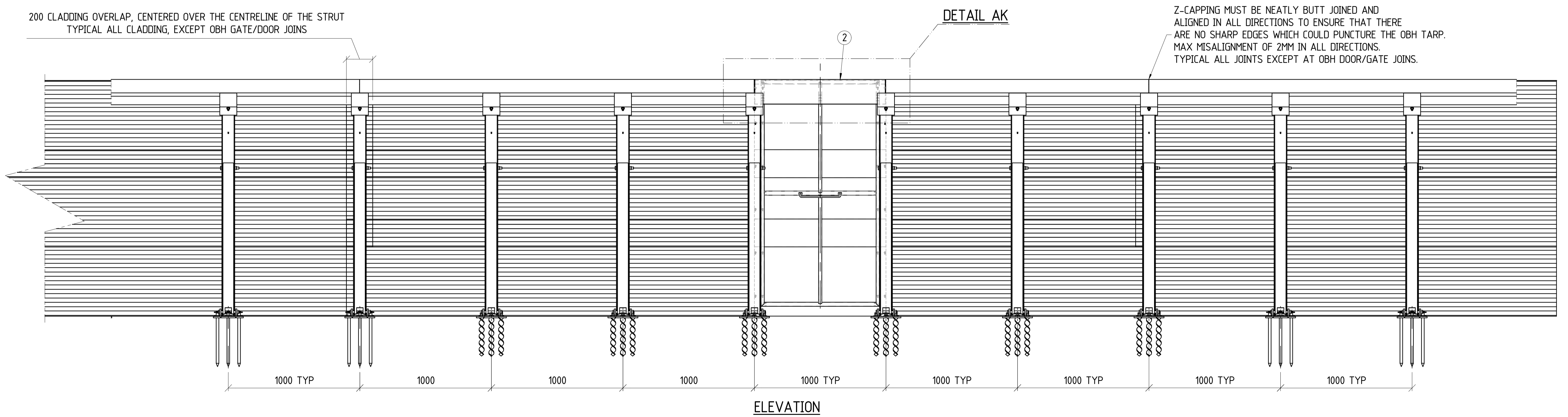
DRAWING TITLE  
**1.8m OPEN BULK HEAD  
GENERAL ARRANGEMENT  
STRAIGHT OBH OPENING DETAIL**

|            |                      |       |        |
|------------|----------------------|-------|--------|
| SITE       | VARIOUS              | SIZE  | A1     |
| PROJECT    | STANDARD             |       |        |
| DRAWING No | S119-ENG-ST-DGA-0003 | SHEET | 8 OF 9 |
| REV.       |                      |       | 0      |

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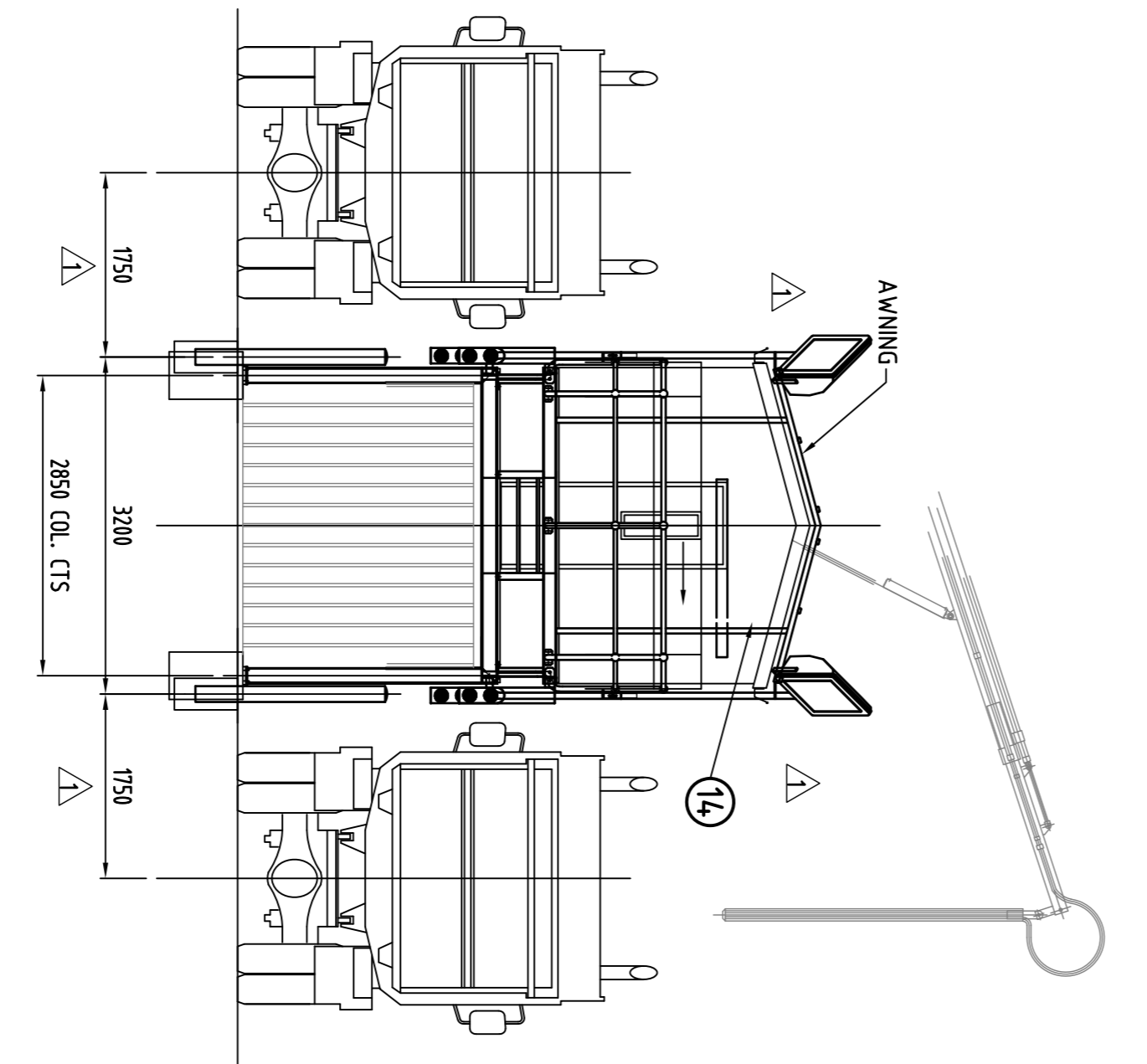
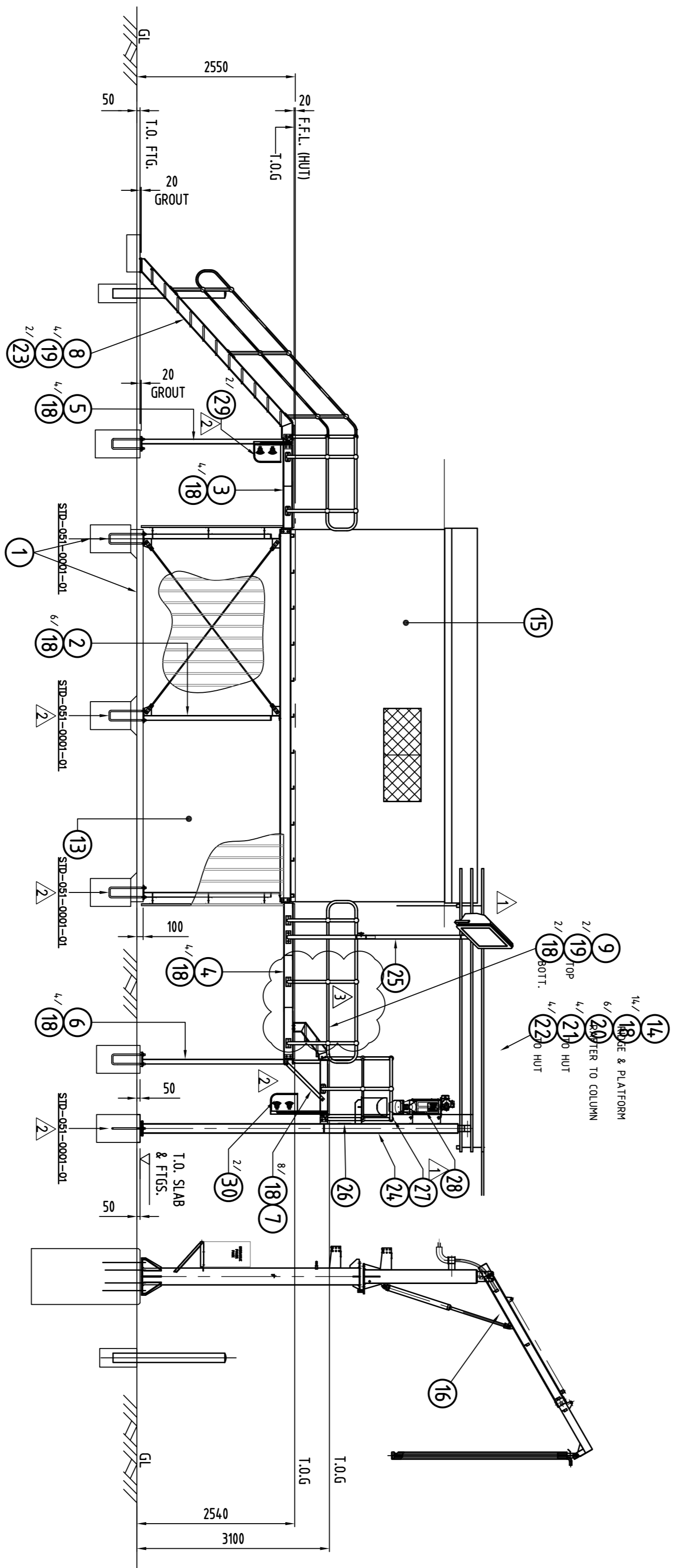
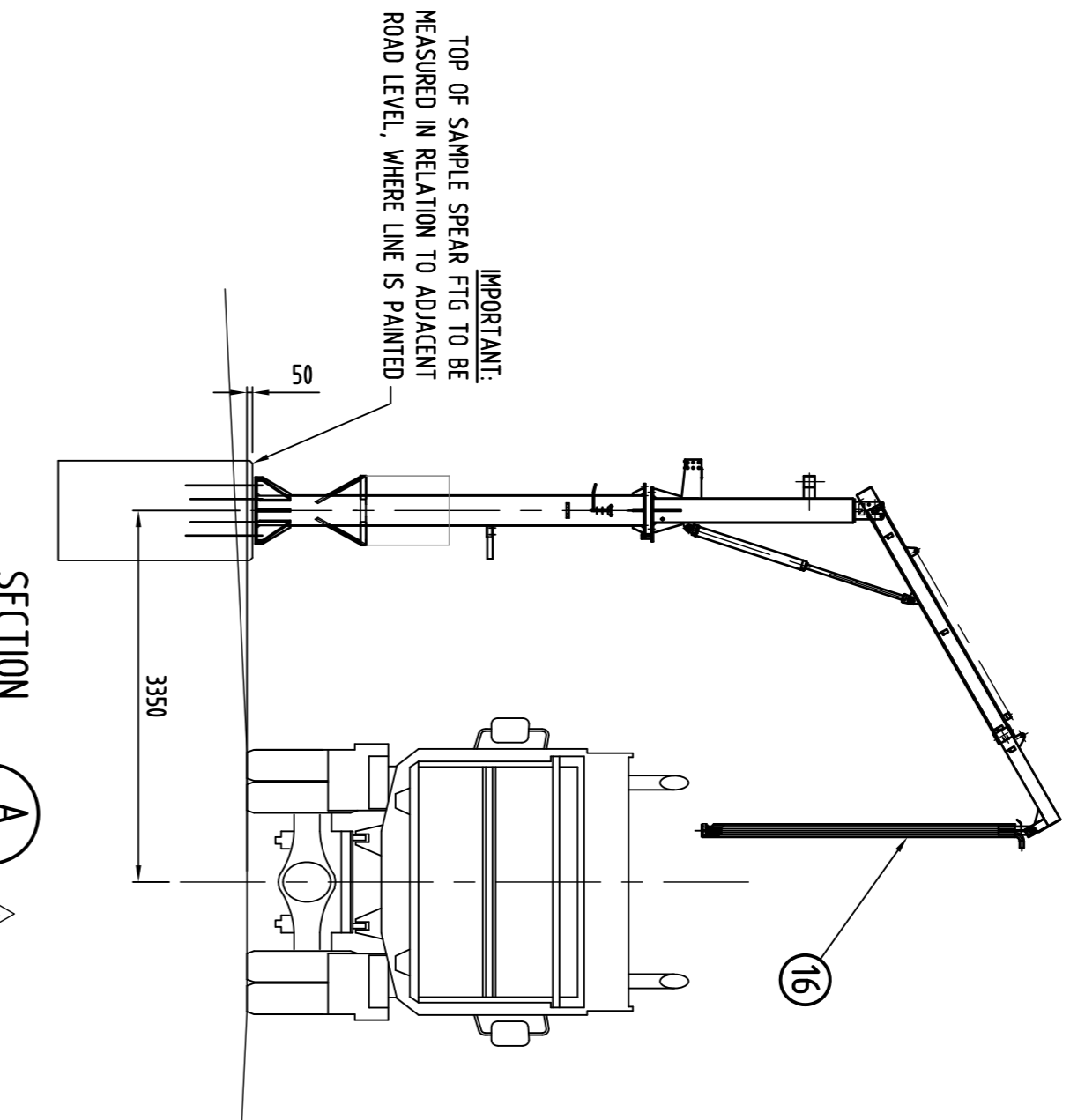
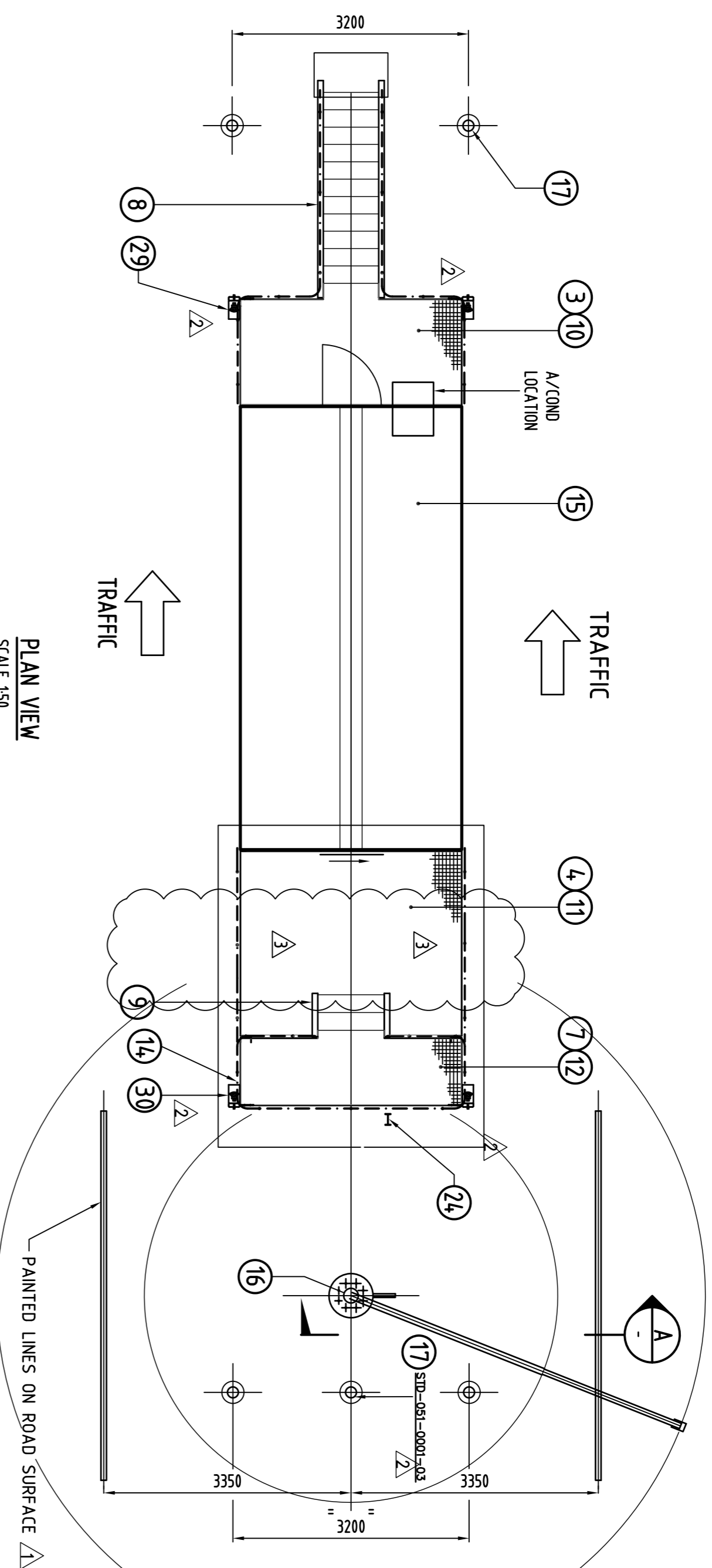
200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT  
TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINS



Z-CAPPING MUST BE NEATLY BUTT JOINED AND ALIGNED IN ALL DIRECTIONS TO ENSURE THAT THERE ARE NO SHARP EDGES WHICH COULD PUNCTURE THE OBH TARP. MAX MISALIGNMENT OF 2MM IN ALL DIRECTIONS. TYPICAL ALL JOINTS EXCEPT AT OBH DOOR/GATE JOINS.

|  |  |   |                         |     |      |           |    |     |     |     |      |                       |   |                                    |                 |                        |                     |                                    |
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|  |  | DO NOT SCALE FROM THIS DRAWING  |                         |     |      |           |    |     |     |     |      | CHECKED LS 10/06/2020 | PROJECT<br>STANDARD   | DRAWING No<br>S119-ENG-ST-DGA-0003 | SHEET<br>9 OF 9 | REV.<br>0              |                     |                                    |
|  |  | REF DRG No.   | REFERENCE DRAWING TITLE | REV | DATE | REVISIONS | BY | CHK | APP | REV | DATE | REVISIONS             | BY  | CHK                                | APP             | APPROVED NH 11/06/2020 | PROJECT<br>STANDARD | DRAWING No<br>S119-ENG-ST-DGA-0003 |





| PART NO | DESCRIPTION                     | NO | RECD | MASS (kg) | SUPPLIER OR C.B.H. PART NO |
|---------|---------------------------------|----|------|-----------|----------------------------|
| 1       | FOOTING LAYOUT AND DETAILS      | 1  |      |           | STD-051-0001               |
| 2       | SAMPLE HUT SUPPORT STRUCTURE    | 1  |      |           | STD-051-0002               |
| 3       | ACCESS PLATFORM                 | 1  |      |           | STD-051-0003               |
| 4       | LOWER SAMPLING PLATFORM         | 1  |      |           | STD-051-0003               |
| 5       | ACCESS PLATFORM SUPPORT         | 1  |      |           | STD-051-0004-01            |
| 6       | SAMPLING PLATFORM SUPPORT       | 1  |      |           | STD-051-0004-02            |
| 7       | UPPER SAMPLING PLATFORM         | 1  |      |           | STD-051-0005               |
| 8       | ACCESS STAIR                    | 1  |      |           | STD-051-0006               |
| 9       | SAMPLING ACCESS STAIR           | 1  |      |           | STD-051-0006               |
| 10      | ACCESS PLATFORM GRATING         | 1  |      |           | STD-051-0006               |
| 11      | LOWER SAMPLING PLATFORM GRATING | 1  |      |           | STD-051-0006               |
| 12      | UPPER SAMPLING PLATFORM GRATING | 1  |      |           | STD-051-0006               |
| 13      | UNDER SAMPLE HUT STORE          | 1  |      |           | STD-051-0007               |
| 14      | AWNING                          | 1  |      |           | STD-051-0008               |
| 15      | SAMPLE SHED 6m x 3m (BY OTHERS) | 1  |      |           | STD-051-0009               |
| 16      | HYDRAULIC SAMPLER               | 1  |      |           | STD-008-0050               |
| 17      | BOLLARD                         | 5  |      |           | STD-051-0001-03            |
| 18      | M16 x 45 BOLT C/W NUT & WASHER  | 56 |      |           | GRADE 8.8                  |
| 19      | M16 x 40 BOLT C/W NUT & WASHER  | 6  |      |           | GRADE 8.8                  |
| 20      | M16 x 90 BOLT C/W NUT & WASHER  | 6  |      |           | GRADE 8.8                  |
| 21      | M12 x 110 BOLT C/W NUT & WASHER | 4  |      |           | GRADE 8.8                  |
| 22      | M12 x 40 BOLT C/W NUT & WASHER  | 4  |      |           | GRADE 8.8                  |
| 23      | M16 EPOXY SET CHEMICAL ANCHORS  | 2  |      |           | 100 MM EMBEDMENT           |
| 24      | SAMPLING BLENDER SUPPORT POST   | 1  |      |           | STD-051-0010               |
| 25      | FLOODLIGHT & POST               | 2  |      |           | STD-051-0011               |
| 26      | VACUUM BOX                      | 1  |      |           | STD-008-0057-1             |
| 27      | PENDENT HOLDER                  | 1  |      |           | STD-008-0058               |
| 28      | SAMPLE BLENDER                  | 1  |      |           | STD-069-0000               |
| 29      | TRAFFIC LIGHT                   | 2  |      |           | STD-051-0012-01            |
| 30      | TRAFFIC LIGHT                   | 2  |      |           | STD-051-0013-01            |

- GENERAL NOTES**
1. ALL STEELWORK, WELDING & FABRICATION TO COMPLY WITH CURRENT CODE ASSISA, CAT SP.
  2. ALL WELDS TO BE 6 FILET UNLESS NOTED AND 3 FILET ON 3 PL.
  3. REMOVE ALL BURRS & SHARP EDGES.
  4. SURFACE TREATMENT: AS PER C&H SPEC. NO TREATMENT TO INSIDE REQUIRED.
  5. ALL HOLES Ø14 TO SUIT M12 HEX. HEAD BOLT GR. 4.6 UN.O.

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| STD-051-0006  | HYDRAULIC SAMPLER PLATFORM THE 3-SECTION DETAILS SHEET 1      | 3    | 17/04/11 | CHANGES MADE AS PER S.I.B. 1097                      | V.P.   | S.B.   | N.L.   |             |          |       |         |          | BULKWEST | 01/03/09 |
| STD-051-0005  | HYDRAULIC SAMPLER PLATFORM THE 3-SECTION DETAILS SHEET 2      | 2    | 08/02/07 | ADDED PART #4 FOR BOLLARD AND U BOLTS AS PER RCD 796 | M.H.   | V.P.   | B.M.E. |             |          |       |         |          | BULKWEST | 03/05/09 |
| STD-051-0003  | HYDRAULIC SAMPLER PLATFORM THE 3-SECTION DETAILS SHEET 2      | 1    | 07/05/06 | INFO ADDED FOR LOCATION OF SAMPLE SPEAR FIT          | V.D.B. | V.P.   | B.M.E. |             |          |       |         |          | BULKWEST | 23/04/08 |
| STD-051-0002  | HYDRAULIC SAMPLER PLATFORM THE 3-SAMPLE HUT SUPPORT STRUCTURE | 0    | 03/12/06 | ISSUED FOR CONSTRUCTION                              | A.M.E. | V.D.B. | S.T.W. |             |          |       |         |          | BULKWEST |          |
| STD-051-0001  | HYDRAULIC SAMPLER PLATFORM THE 4-SECTION LAYOUT & DETAIL      | A    | 19/12/06 | ADAPTED FROM 94-058 ISSUE FOR APPROVAL               | A.M.E. | V.D.B. | S.T.W. |             |          |       |         |          | BULKWEST |          |

**DRAWING TITLE**  
HYDRAULIC SAMPLER PLATFORM  
TYPE 9 - SINGLE  
GENERAL ARRANGEMENT

**SITE**  
VARIOUS

**PRODUCT**  
STANDARD

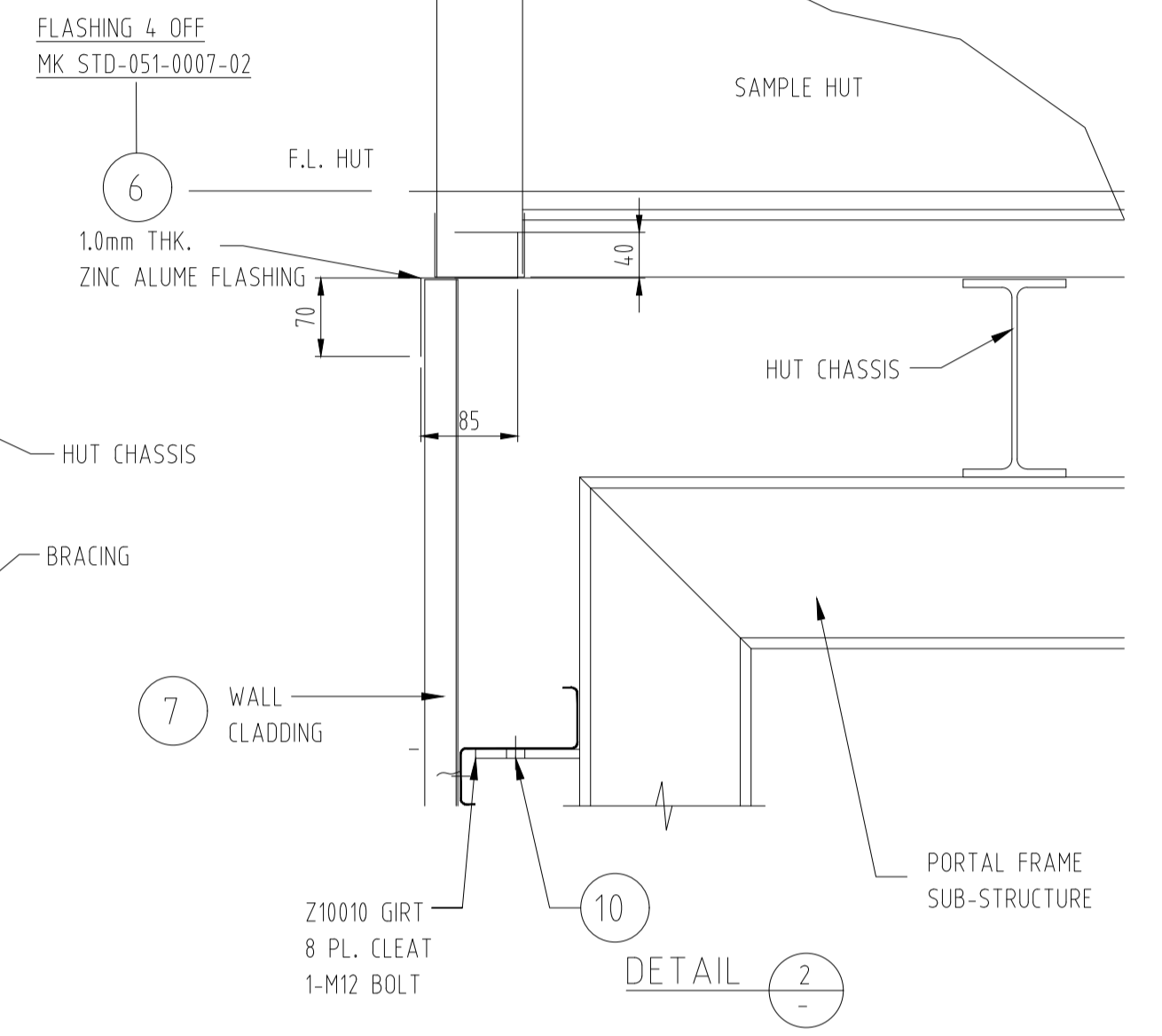
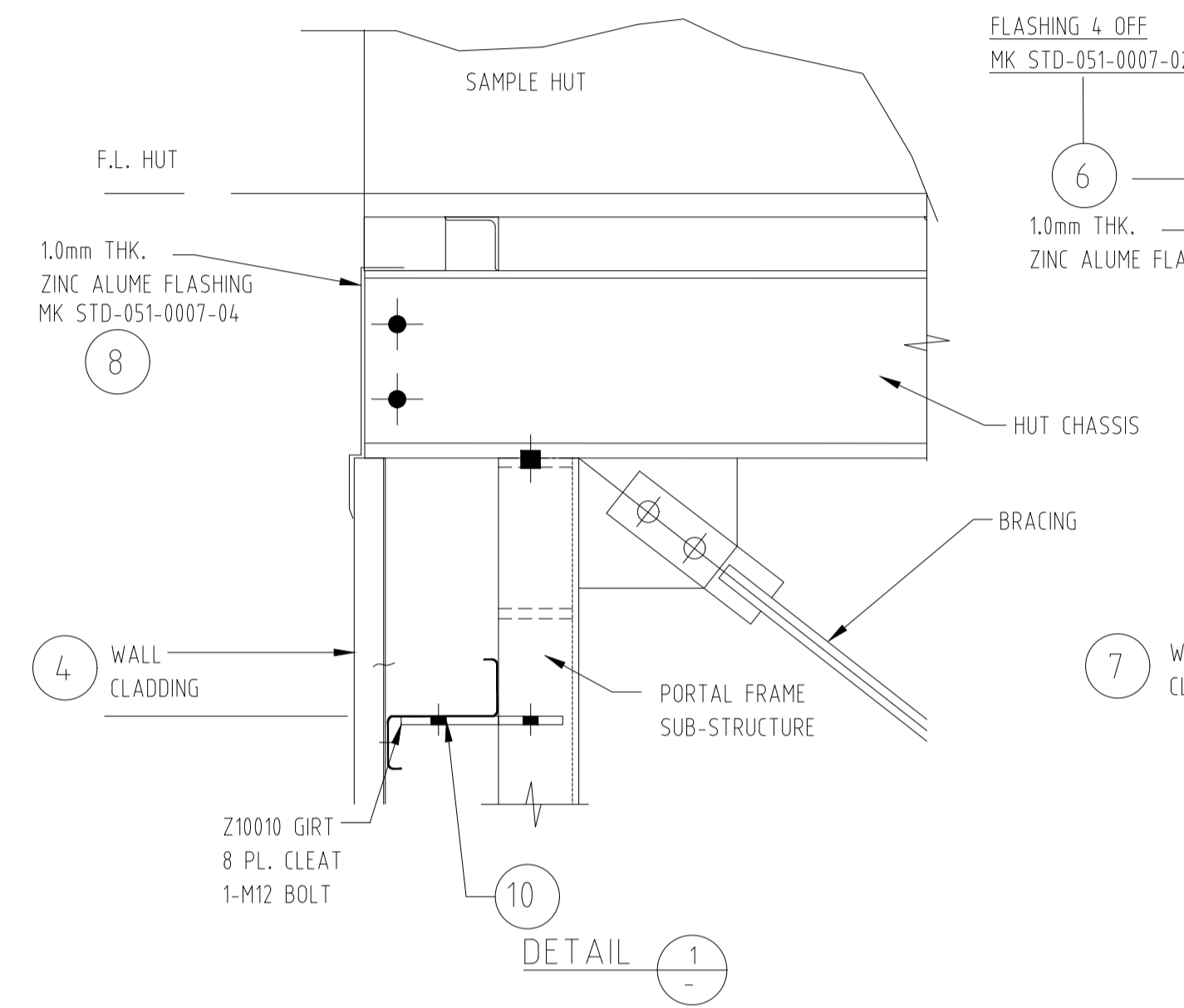
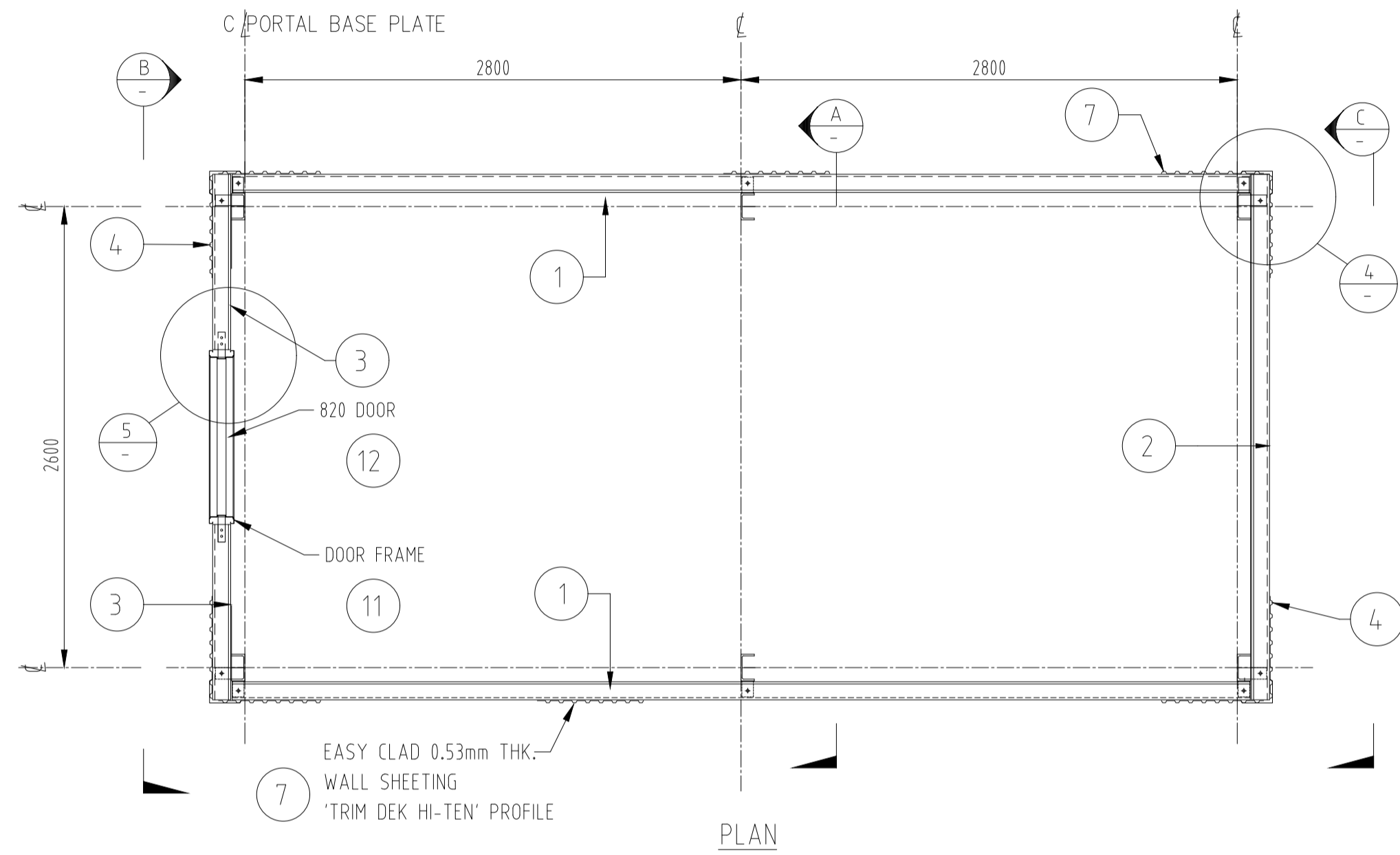
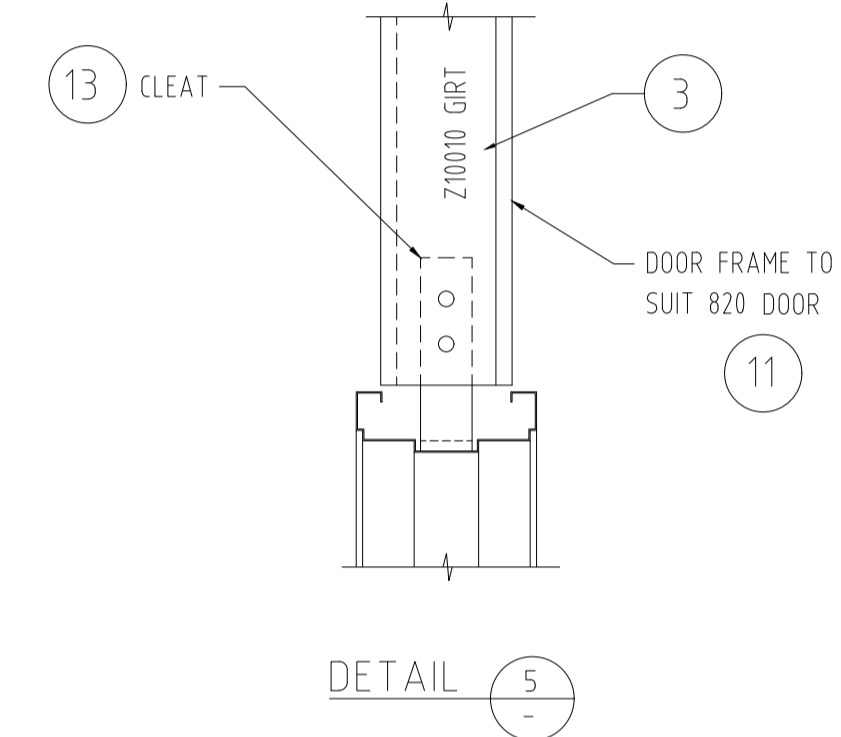
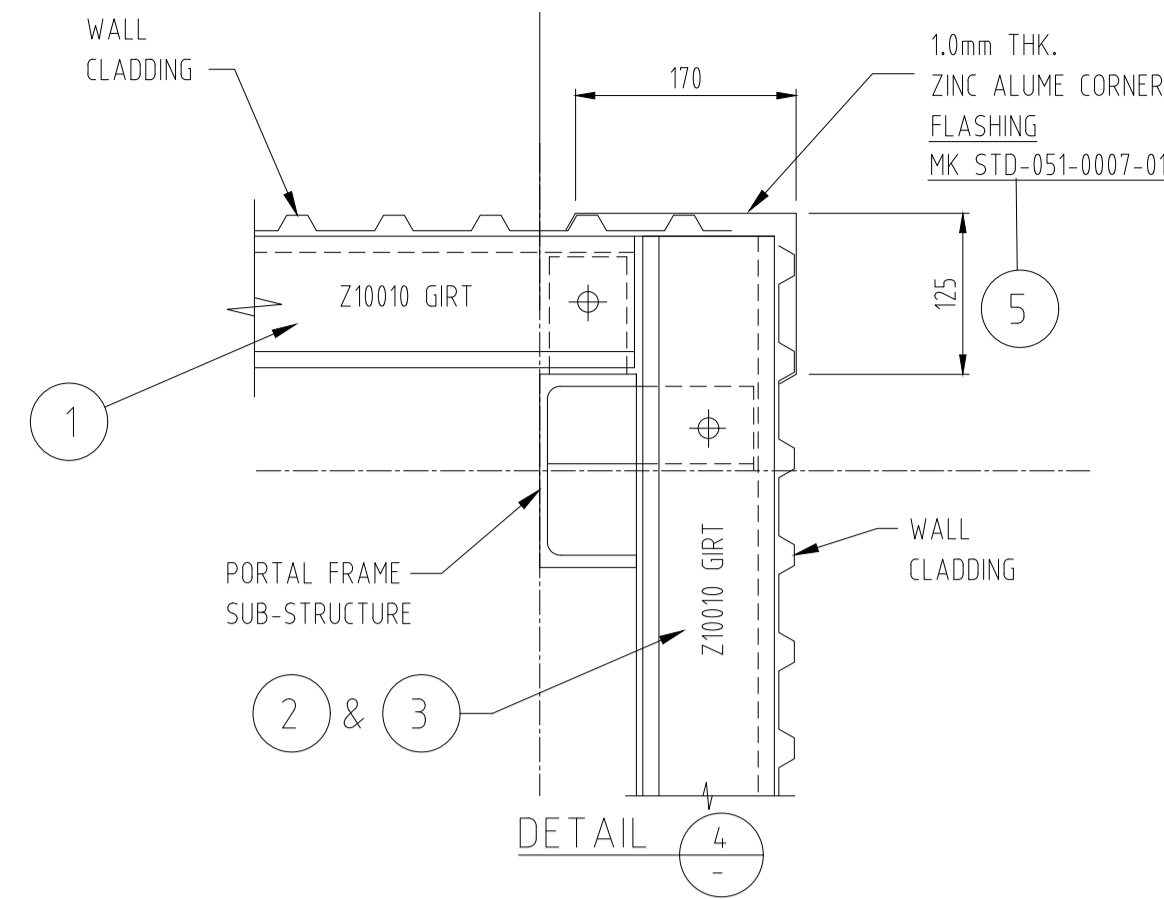
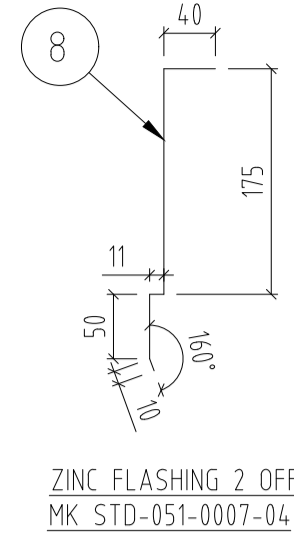
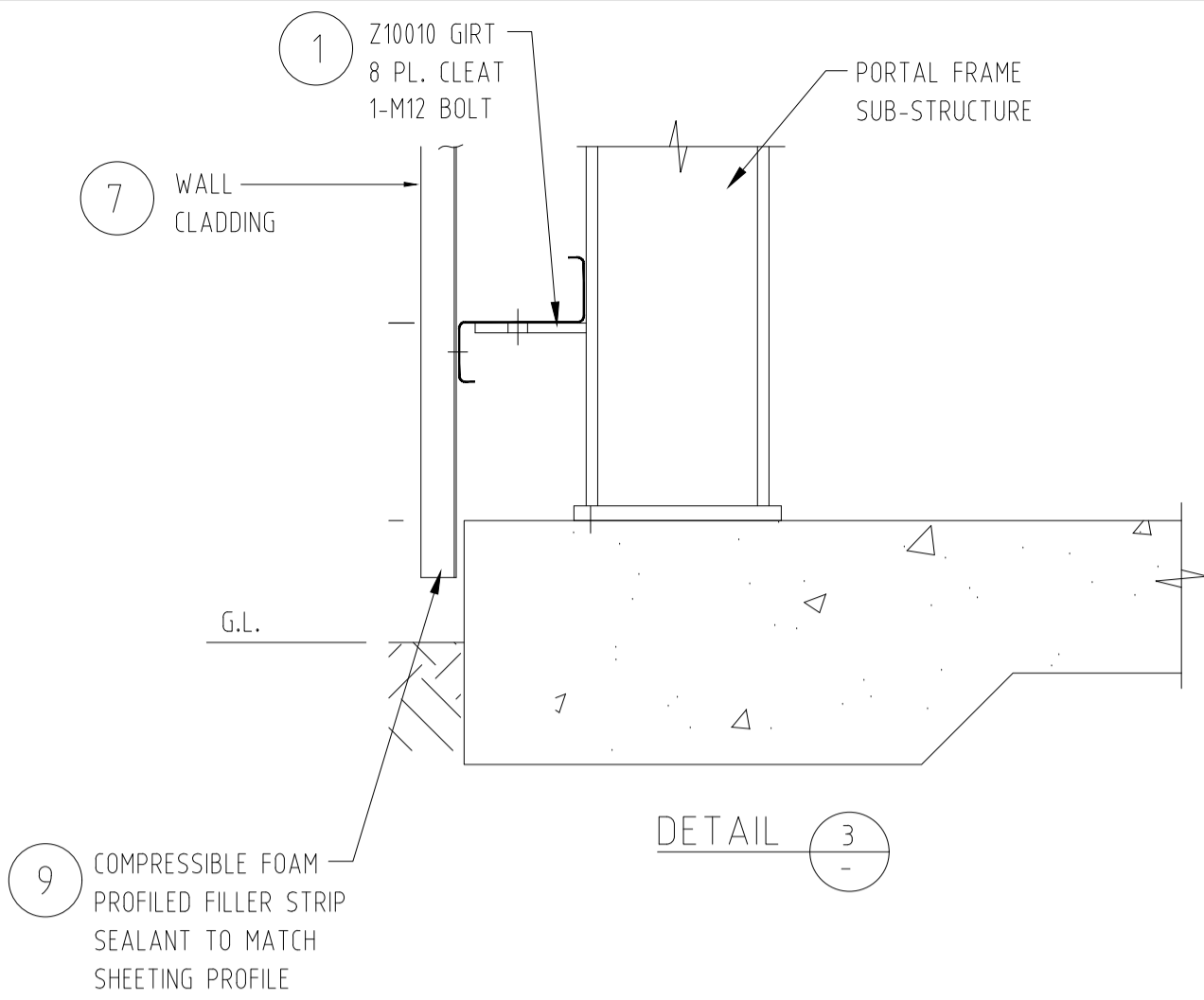
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STD-051-0000

**SHEET**  
B1

**REV**  
3

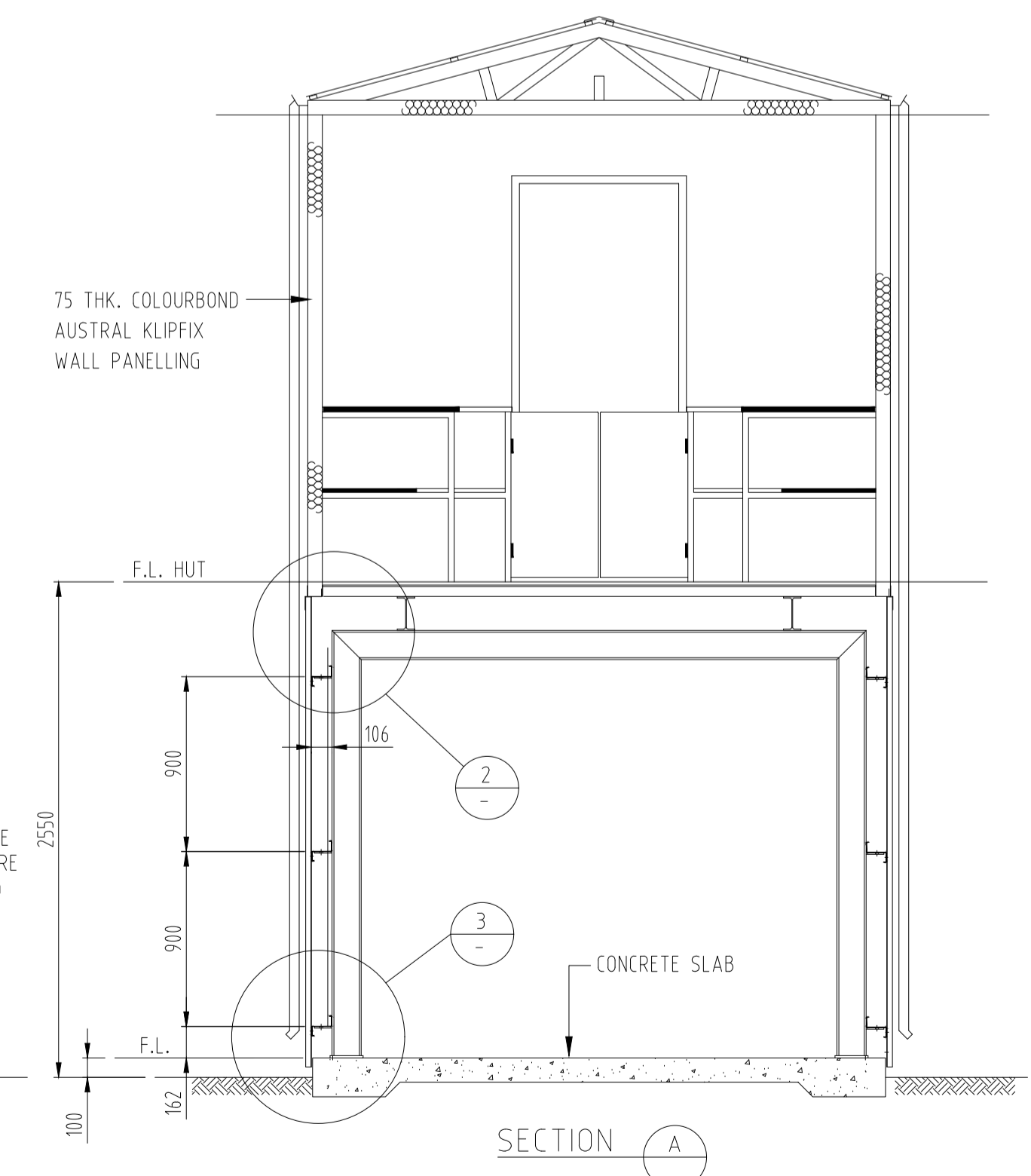
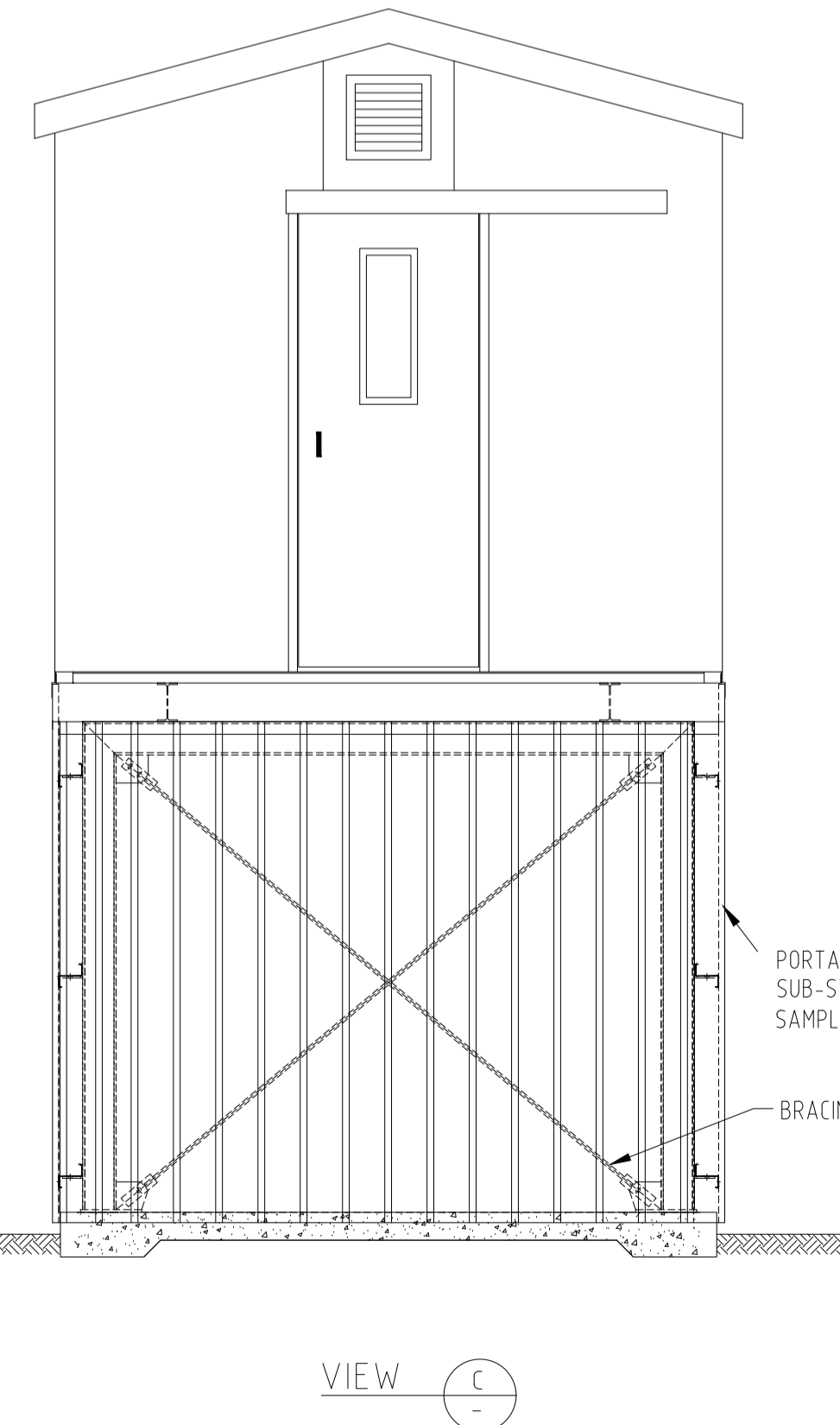
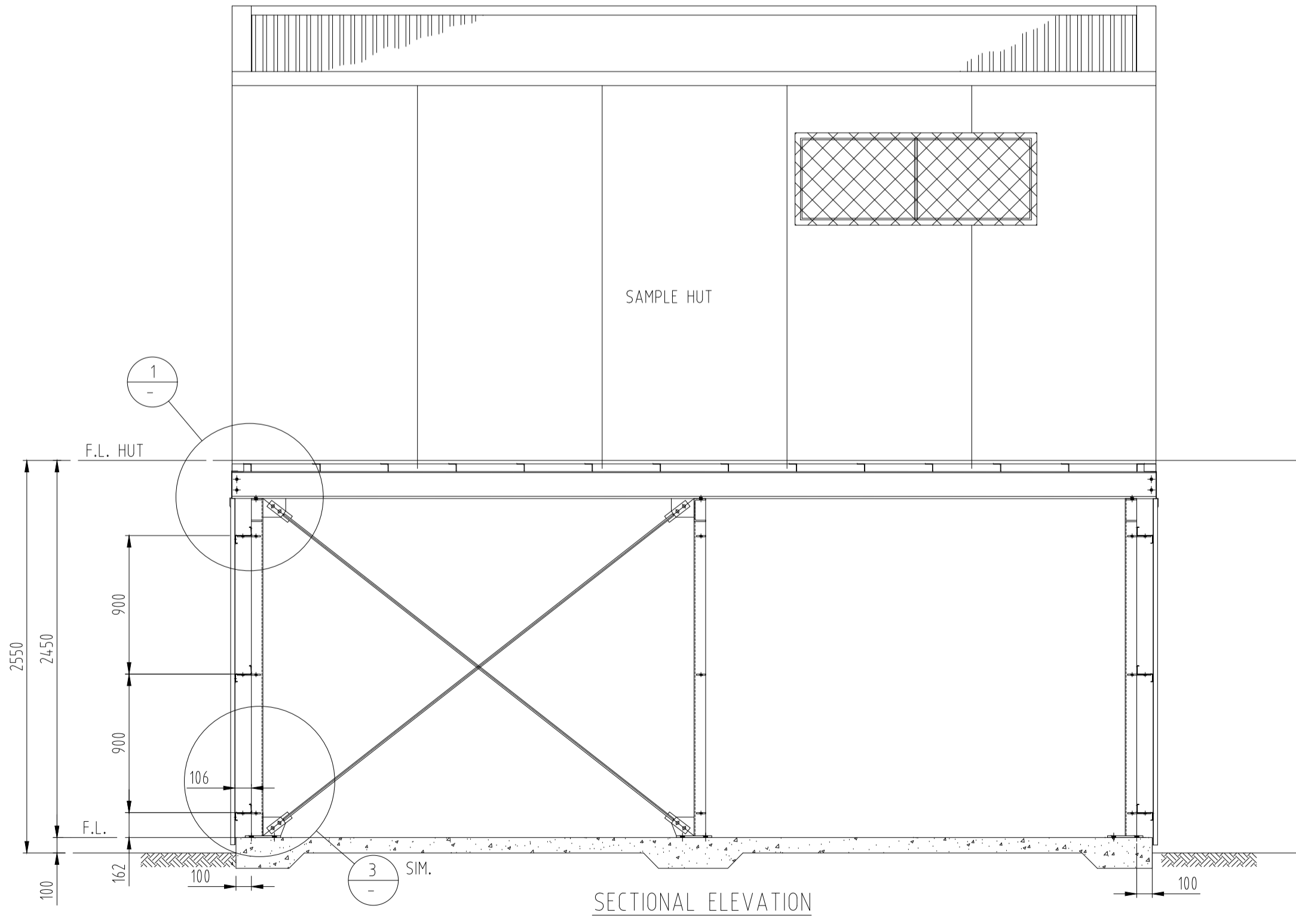
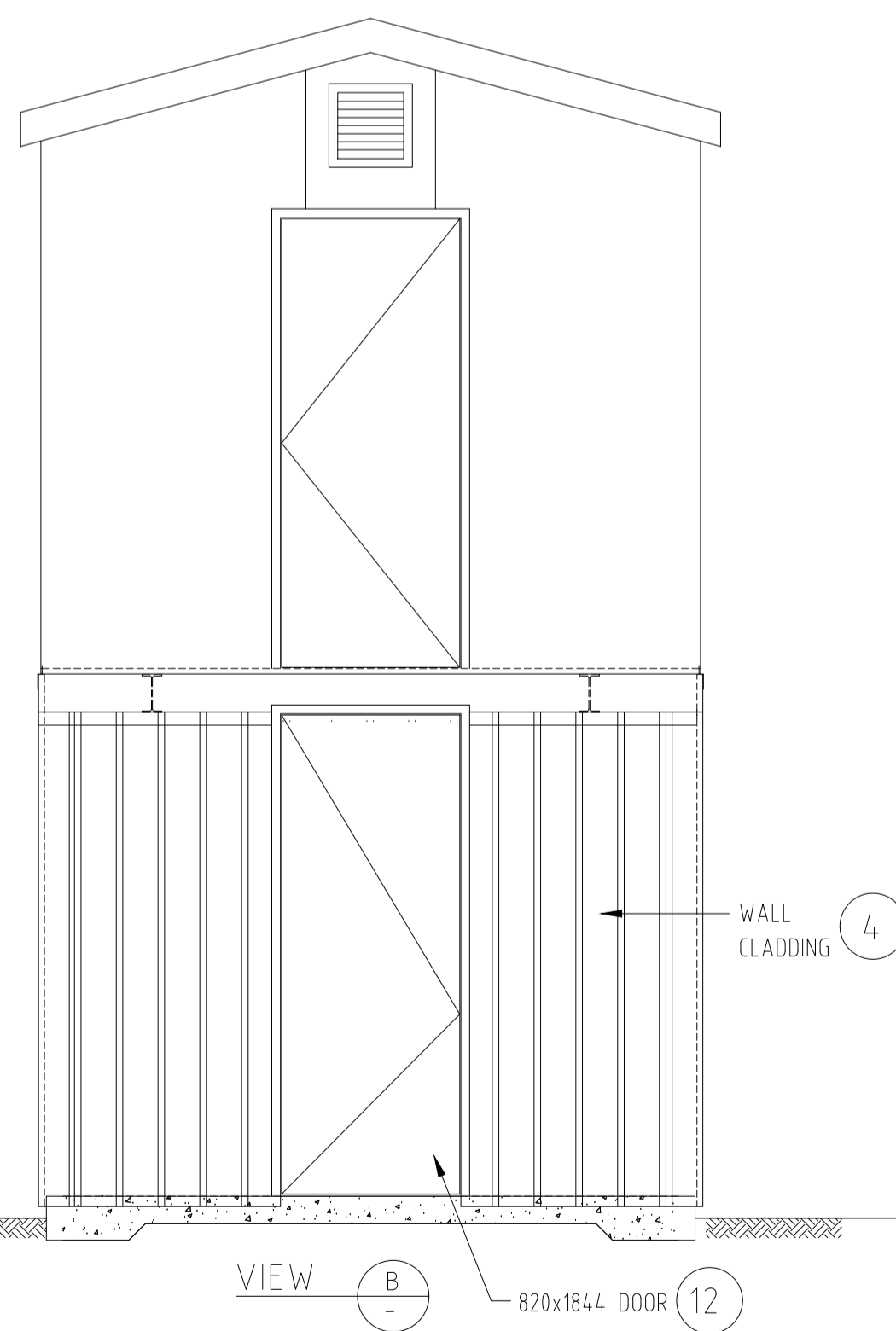


THIRD ANGLE PROJECTION / DO NOT SCALE DRAWINGS



| PART NO     | DESCRIPTION                          | NO REQD | MASS (kg) | SUPPLIER OR C.B.H. PART NO |
|-------------|--------------------------------------|---------|-----------|----------------------------|
| 1           | Z10010 GIRT                          | 5750    | 6         | 'LYSAGHT'                  |
| 2           | Z10010 GIRT                          | 2960    | 3         | "                          |
| 3           | Z10010 GIRT                          | 1025    | 6         | "                          |
| 4           | 'TRIMDEK HI-TEN' WALL SHEETING       | 2250    | 8         | "                          |
| 5           | ZINC ALUMINE CORNER FLASHING         | 2420    | 4         | PRESS TO SHAPE             |
| 6           | ZINC ALUMINE FLASHING                | 3010    | 4         | PRESS TO SHAPE             |
| 7           | 'TRIMDEK HI-TEN' WALL SHEETING       | 2420    | 16        | "                          |
| 8           | ZINC ALUMINE FLASHING                | 2960    | 2         | PRESS TO SHAPE             |
| 9           | PROFILED FILLER STRIP                |         |           | AS REQ'D                   |
| 10          | M12 HEX. HEAD BOLT c/w NUT & WASHERS | 30      | 42        | GR. 4.6                    |
| 11          | DOOR FRAME TO SUIT 820 DOOR          |         | 1         |                            |
| 12          | 820 WEATHERPROOF FLUSH PANEL DOOR    |         | 1         |                            |
| 13          | 40 x 5 FL.                           | 200     | 6         | GALV.                      |
| TOTAL MASS: |                                      |         |           | Kg                         |

- GENERAL NOTES
1. ALL STEELWORKS, WELDING & FABRICATION TO CONFORM WITH CURRENT S.A.A. CODES AS5554 (LAT SP)
  2. ALL WELDS TO BE 6 FILLET (U.O.N. & 3mm FILLET ON 3 PL. ALL BUTT WELDS TO BE FULL PENETRATION & TO HAVE 100% NDT (TYP)
  3. REMOVE ALL BURRS & SHARP EDGES.
  4. SURFACE TREATMENT AS PER CBH SPEC.
  5. ALL HOLES Ø1% TO SUIT M12 HEX. HEAD BOLT GR. 4.6 UNL.O.
  6. ALL NOTCHES TO HAVE 10mm RADIUS AT INTERNAL CORNERS



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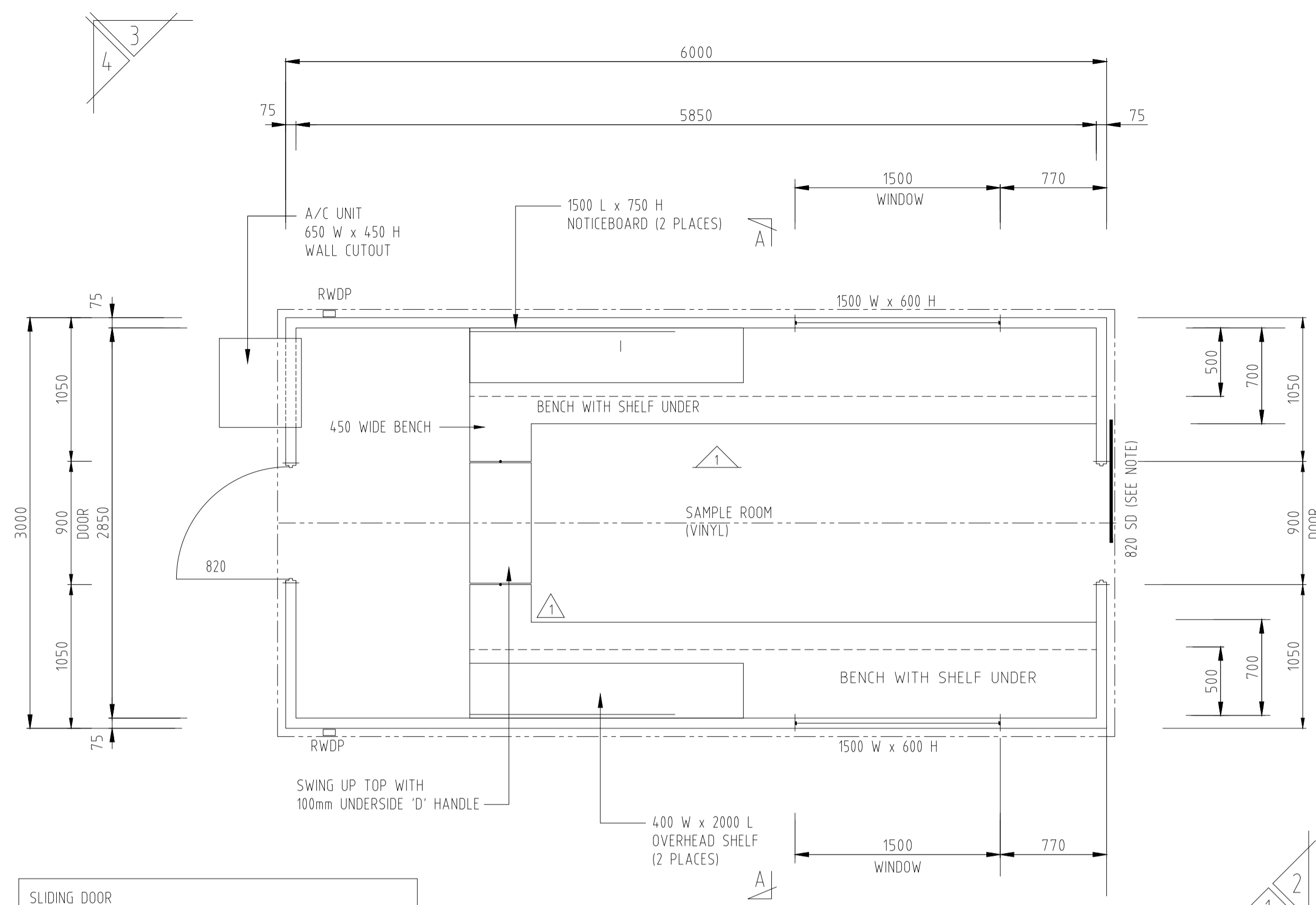
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| STD-051-0002 | HYDRAULIC SAMPLE PLATFORM TYPE 9 - SAMPLE HUT SUPPORT STRUCTURE | -           | -                       | 0   | 03.02.06 | ISSUED FOR CONSTRUCTION                      | AME | VD-B  | SYW |
| STD-051-0000 | HYDRAULIC SAMPLE PLATFORM TYPE 9 - GENERAL ARRANGEMENT          | -           | -                       | A   | 24.01.06 | ADAPTED FROM 2003-0016. ISSUED FOR APPROVAL. | AME | V-D-B | SYW |

| SCALE | NIS | DESIGNED | BULKWEST | DATE |
|-------|-----|----------|----------|------|
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|       |     | GB       | 03.02.03 |      |
|       |     | BWC      | 03.02.03 |      |

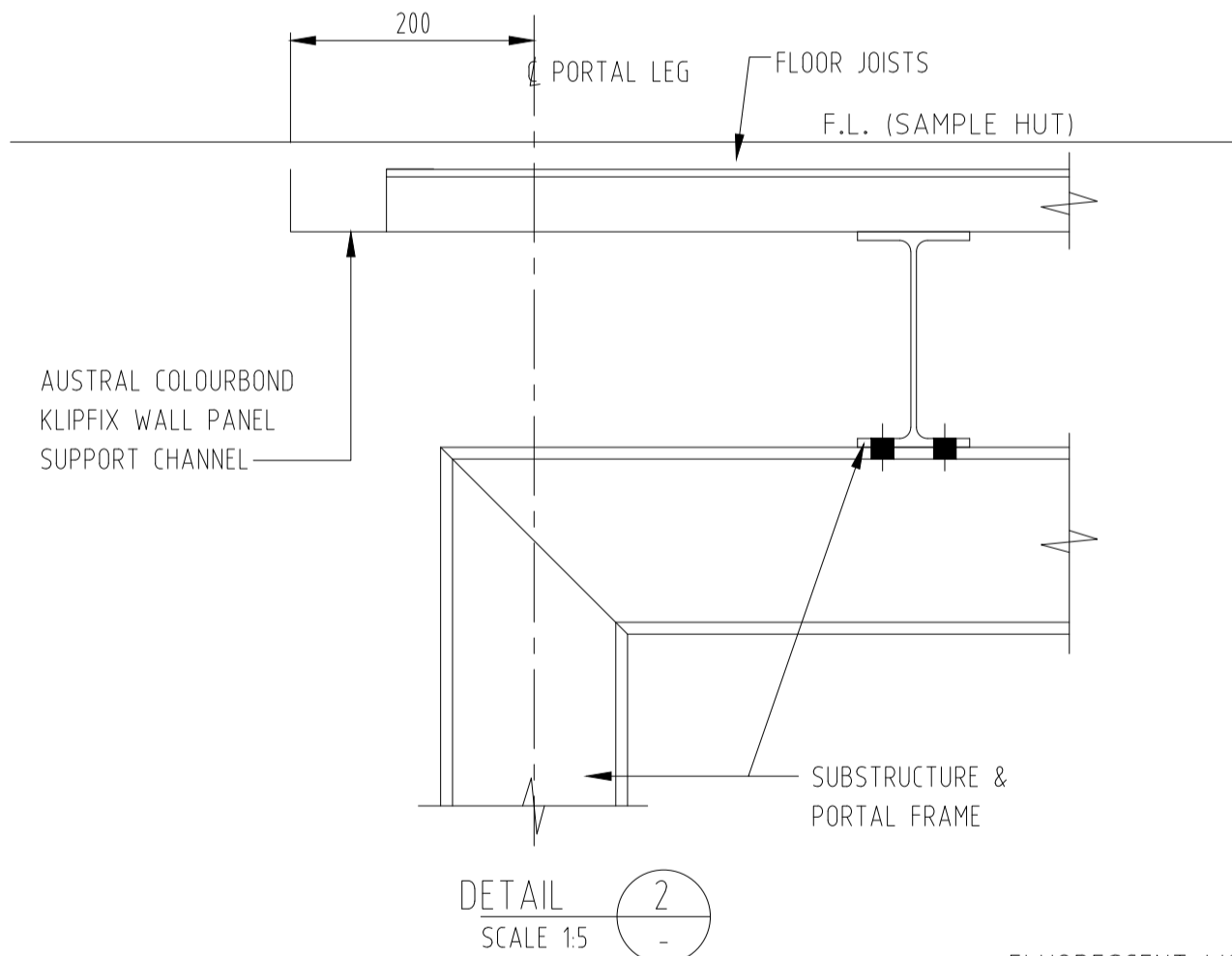
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HYDRAULIC SAMPLE PLATFORM  
TYPE 9 - SINGLE  
UNDER SAMPLE HUT STORAGE  
CLADDING DETAILS

| SITE    | VARIOUS  | SHEET      | B1           |
|---------|----------|------------|--------------|
| PROJECT | STANDARD | DRAWING NO | STD-051-0007 |
| REV.    | 0        |            |              |



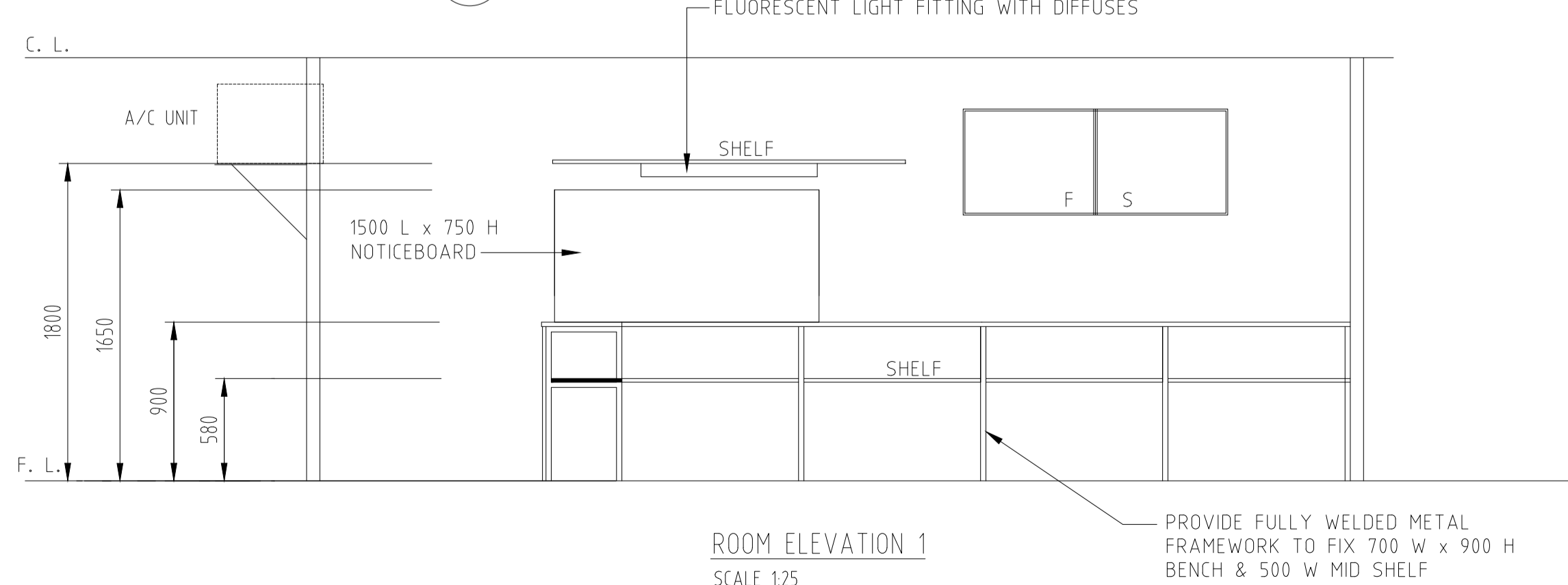
- SLIDING DOOR**
- 2040 x 860 H.D. STEEL FRAMED SLIDING DOOR C/W INDUSTRIAL ROLLERS. DOOR TO BE PGI PANELLED BACKED WITH 35 x 35 x 3.5mm PGI ANGLES, PERIMETER FRAME & HORIZONTALS @ 500 CRS. WITH SELF CLOSING MECHANISM & PROVISION FOR LOCKING WITH PADLOCK INCLUDING COVER.
  - WINDOW SIZE TO BE 700 H x 200 W

**FLOOR PLAN**  
SCALE 125  
NOTE - ALLOW FOR COMPUTER CABLE ACCESS ON SIDE WALLS AS DENOTED # . FABRICATOR TO CAP CABLE ACCESS AT u/s WALLS.

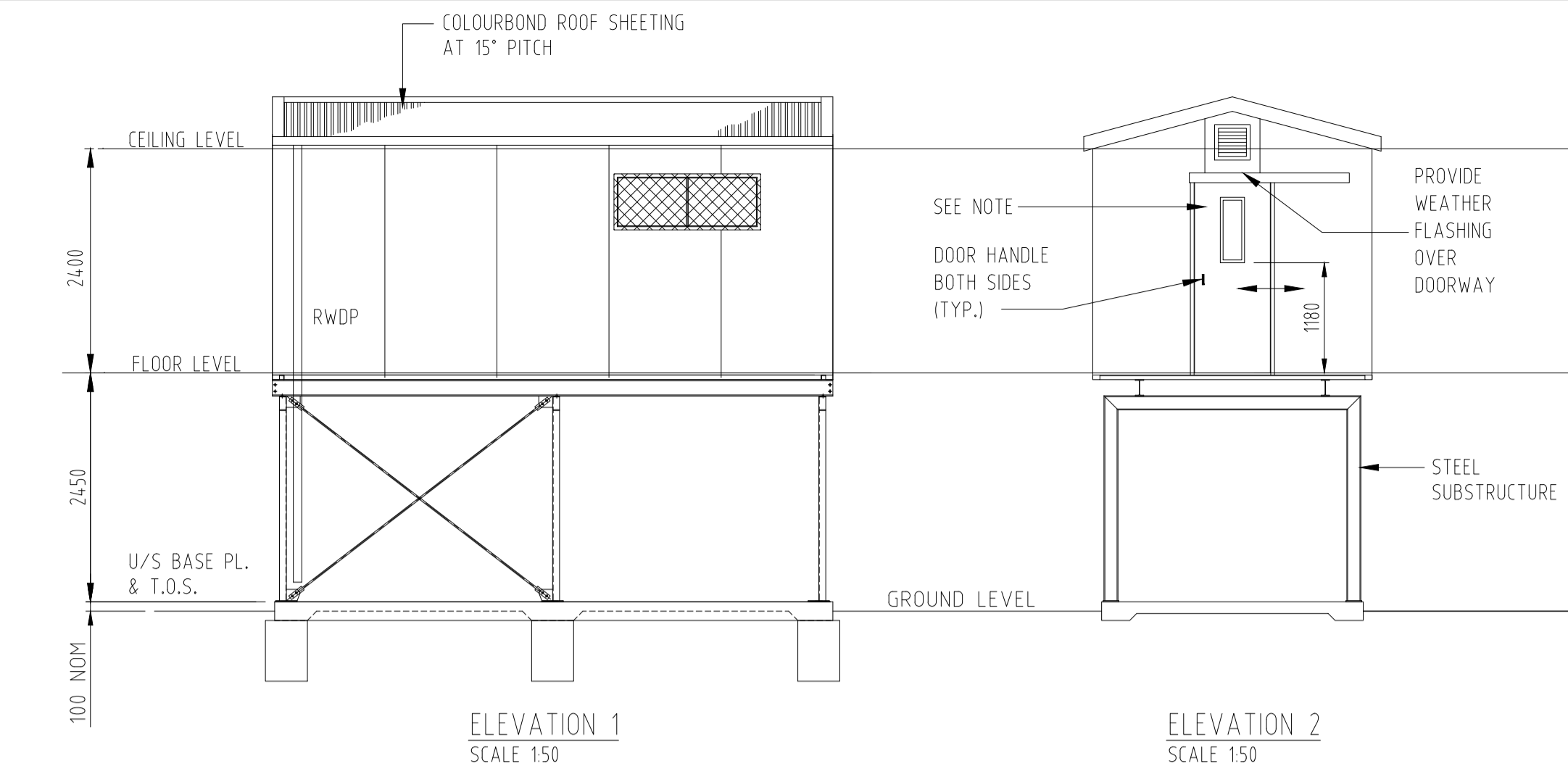


**DETAIL 2**  
SCALE 15

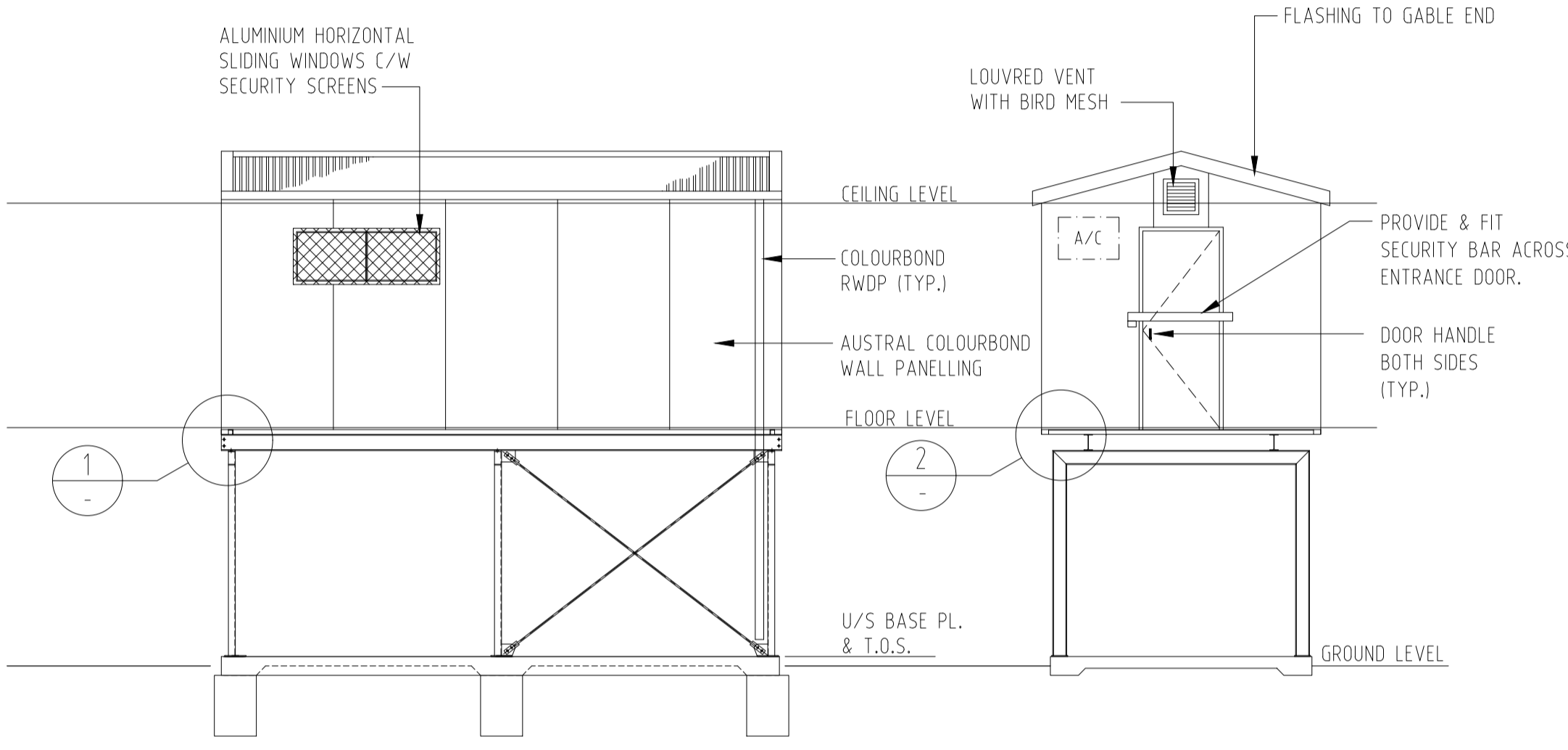
**ENERGY EFFICIENCY REQUIREMENTS**  
BUILDING STRUCTURE TO COMPLY WITH CURRENT ENERGY EFFICIENCY REQUIREMENTS FOR CLIMATE ZONES 4,5 AND 6  
ROOF SYSTEM INSULATION TOTAL R3.7  
WALL SYSTEM INSULATION TOTAL R2.2  
FLOOR SYSTEM INSULATION TOTAL R2.0



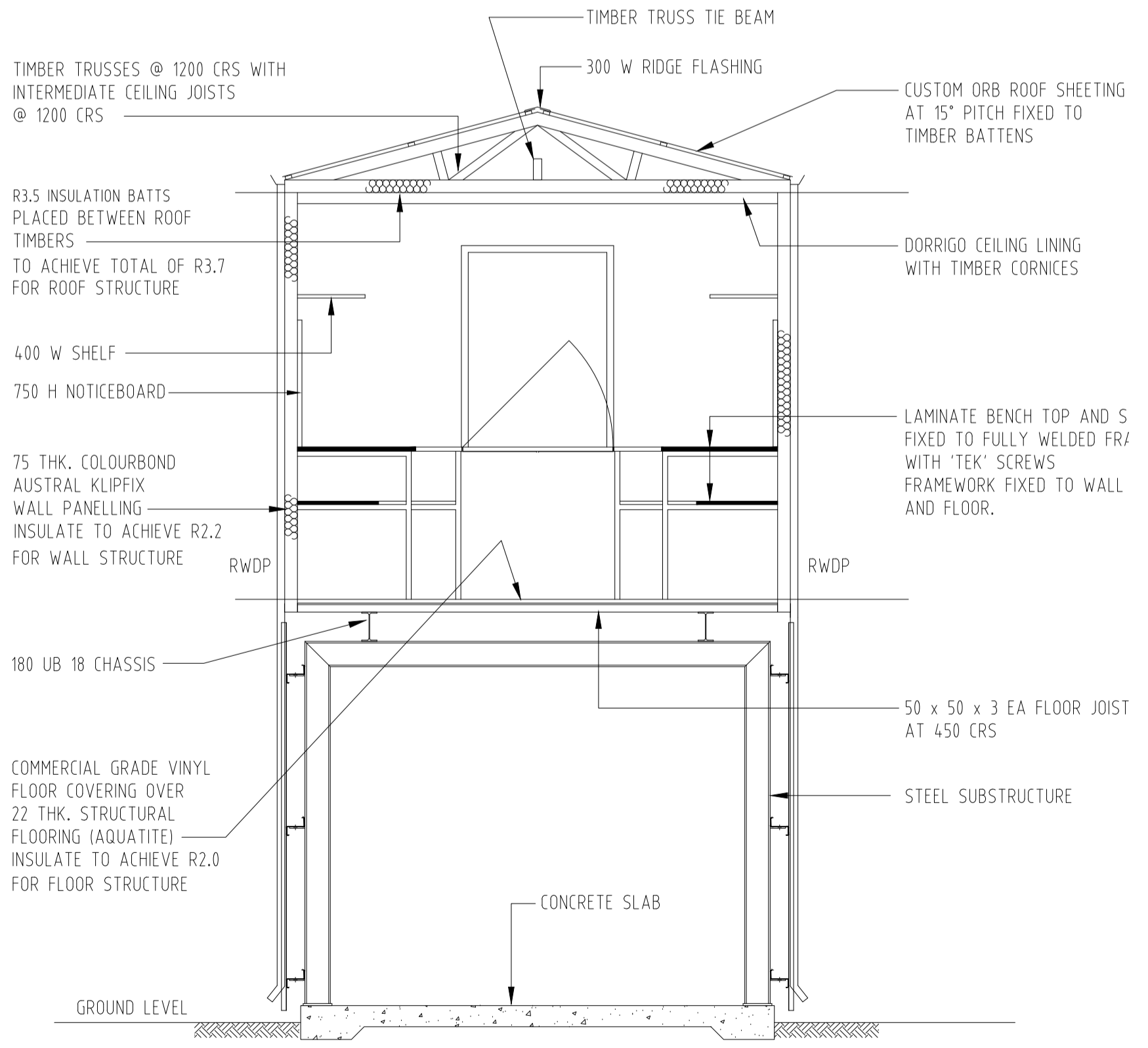
**ROOM ELEVATION 1**  
SCALE 1:25  
PROVIDE FULLY WELDED METAL FRAMEWORK TO FIX 700 W x 900 H BENCH & 500 W MID SHELF



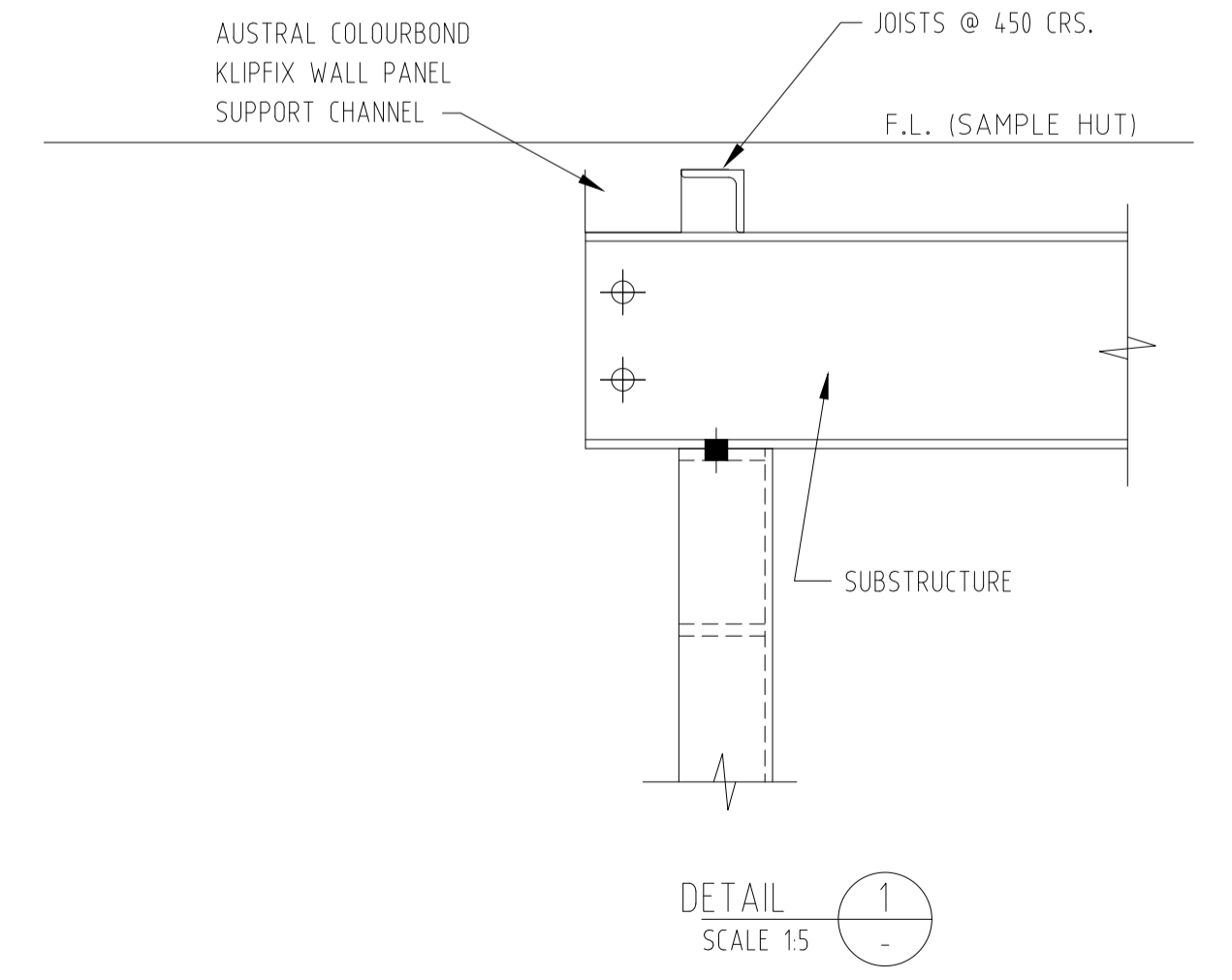
**ELEVATION 1** SCALE 150  
**ELEVATION 2** SCALE 150



**ELEVATION 3** SCALE 150  
**ELEVATION 4** SCALE 150



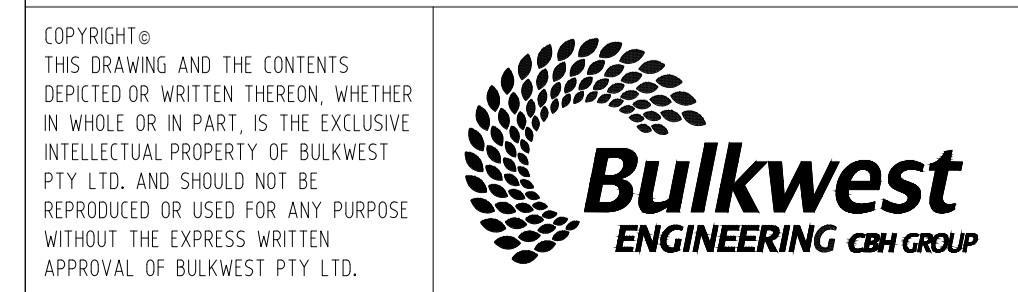
**SECTION A**  
SCALE 1:25



**DETAIL 1**  
SCALE 15

| PART NO     | DESCRIPTION | NO REQD | MASS (kg) | SUPPLIER OR C.B.H. PART NO |
|-------------|-------------|---------|-----------|----------------------------|
| 1           |             |         |           |                            |
| 2           |             |         |           |                            |
| 3           |             |         |           |                            |
| 4           |             |         |           |                            |
| 5           |             |         |           |                            |
| 6           |             |         |           |                            |
| 7           |             |         |           |                            |
| 8           |             |         |           |                            |
| 9           |             |         |           |                            |
| 10          |             |         |           |                            |
| 11          |             |         |           |                            |
| 12          |             |         |           |                            |
| 13          |             |         |           |                            |
| 14          |             |         |           |                            |
| 15          |             |         |           |                            |
| 16          |             |         |           |                            |
| 17          |             |         |           |                            |
| 18          |             |         |           |                            |
| 19          |             |         |           |                            |
| 20          |             |         |           |                            |
| 21          |             |         |           |                            |
| 22          |             |         |           |                            |
| 23          |             |         |           |                            |
| 24          |             |         |           |                            |
| 25          |             |         |           |                            |
| 26          |             |         |           |                            |
| 27          |             |         |           |                            |
| 28          |             |         |           |                            |
| 29          |             |         |           |                            |
| 30          |             |         |           |                            |
| TOTAL MASS: |             |         | Kg        |                            |

- GENERAL NOTES**
- ALL STEELWORK, WELDING & FABRICATION TO CONFORM WITH CURRENT S.A.A. CODES AS1554 CAT SP
  - ALL WELDS TO BE 6mm FILLET OR 3 FILLET ON 3 PL. (UNO)
  - REMOVE ALL BURRS & SHARP EDGES.
  - SURFACE TREATMENT: AS PER CBH SPEC. (NO TREATMENT TO INSIDE CHUTES, SPOUTS, ETC REQUIRED.)
  - ALL HOLES Ø14 TO SUIT M12 HEX. HEAD BOLT GR. 4.6 U.N.O.



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| REV | DATE     | REVISIONS                                   | BY  | CHK  | APP |
|-----|----------|---|-----|------|-----|
| 1   | 20.10.09 | ENERGY EFFICIENCY REQUIREMENTS ADDED        | PB  | EM   | EM  |
| 0   | 03.02.06 | ISSUED FOR CONSTRUCTION                     | AME | VD-B | SYW |
| A   | 27.01.06 | ADAPTED FROM 2003-0018. ISSUED FOR APPROVAL | AME | VD-B | SYW |

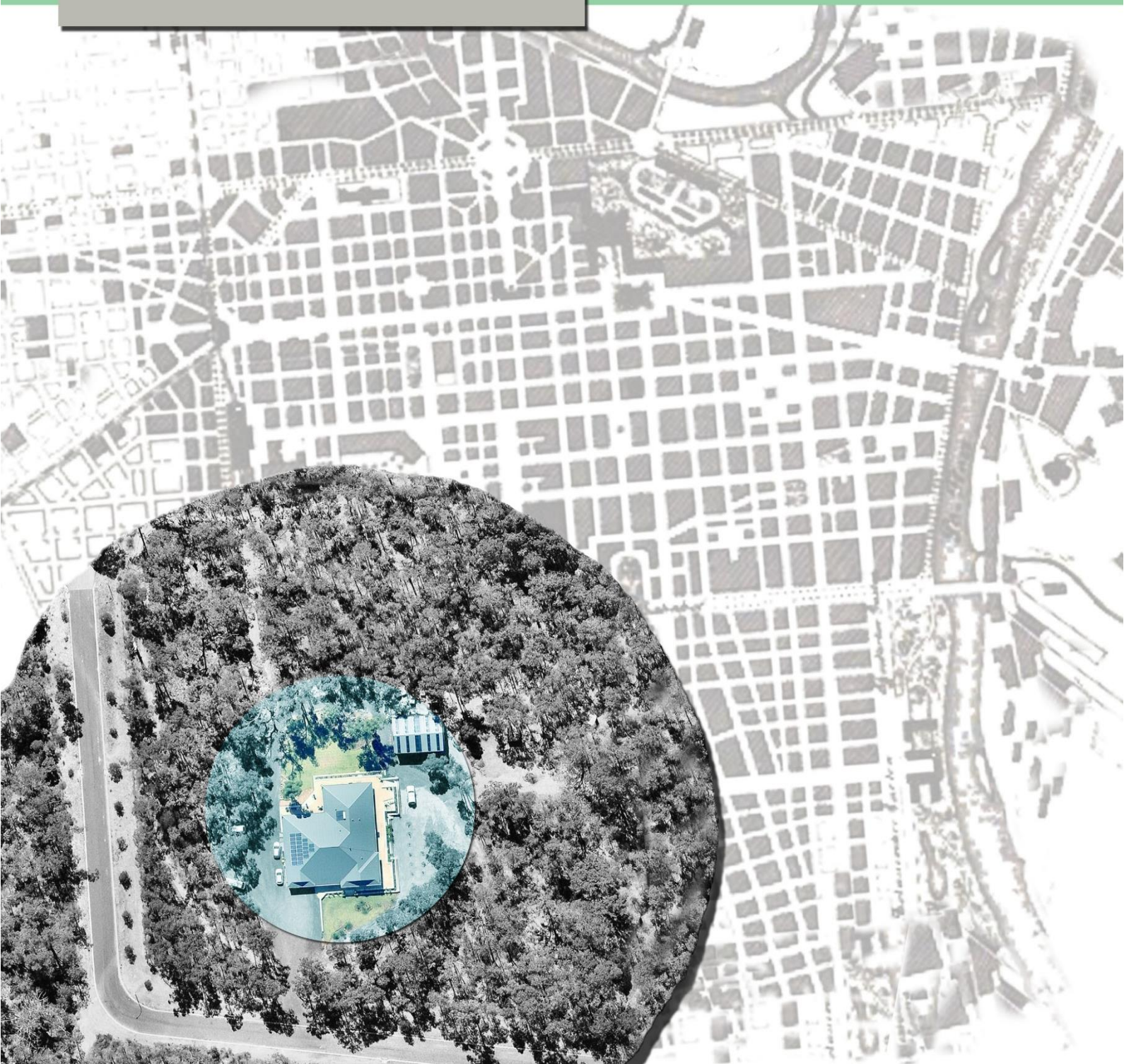
| SCALE | NIS | DESIGNED | BULKWEST |
|-------|-----|----------|----------|
|       |     | CDZ      | 14.05.04 |

**DRAWING TITLE**  
TYPE 9 SAMPLE PLATFORM  
SAMPLE HUT- SINGLE

| SITE    | VARIOUS  | SHEET      | B1           |
|---------|----------|------------|--------------|
| PROJECT | STANDARD | DRAWING NO | STD-051-0009 |
| REV.    | 1        |            |              |



# Bushfire Management Plan



| Report Details                      |  |   |
|-------------------------------------|--|---|
| <b>Project:</b>                     | Improve truck weighing, grain sampling and storage facilities              |   |
| <b>Project Address:</b>             | Westdale Rd, CBH Dale WA 6304  |   |
| <b>Prepared by:</b>                 | James Terenciuk, BPAD Accredited Level 2 Assessor, BPAD36529, MAIBS, AIMM. |   |
| <b>Report / Job Number</b><br>11742 | <b>Report Version</b><br>2   | <b>Date submitted:</b><br>10 October 2020 |



**Address:** Suite 26, 443 Albany Highway, Victoria Park, WA 6100, **Phone:** (08) 6114 9356  
**Email:** admin@greenstartconsulting.com.au, **Web:** www.greenstartconsulting.com.au

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## 1. Background Information

This Bushfire Management Plan was prepared to provide guidance for the planning and management of potential bushfire threat. The standards and recommendations within this plan are based on the performance criteria as set out in Guidelines for Planning in Bushfire Prone Areas (Version 1.3, Dec-2017).

This Bushfire Management Plan meets the requirements of SPP 3.7 and the Guidelines for Planning in Bushfire Prone Areas.



James Terenciuk  
Level 2 BPAD Practitioner

### 1.1 Purpose of Plan

The purpose of this Plan is minimise the occurrence and impact of bushfires and their devastating effects to life, property and the environment, and to document fire prevention requirements at the Site. By providing acceptable solutions the BAL level can be managed to an acceptable level.

### 1.2 Objectives

The objectives of this Plan are to:

- Define areas where values are located
- Define and rank hazard areas
- Identify individuals and organizations responsible for fire management and associated works within the area of the plan
- Develop fire management strategies for all land with regard to life, property and the environment
- Nominate an assessment procedure that evaluates the effectiveness and impact of proposed and existing fire prevention work and strategies
- Identify performance criteria and acceptable solutions for all fire management works, including acceptable solutions for fire breaks, low fuel areas and building construction standards.

This Plan will achieve the objectives by:

- Assessing the bushfire attack level
- Determining bushfire management requirements
- Determining ongoing management responsibilities

### 1.3 Statement against Other Relevant Documents

This Bushfire Management Plan meets the intent of:

1. State Planning Policy 3.7,
2. Guidelines for Planning in Bushfire Prone Areas,
3. Local planning strategy references to bushfire risk management,
4. Local planning scheme provisions relating to bushfire risk management,
5. Applicable structure plans, special control area provisions, previous planning approvals or similar referencing bushfire risk management applicable to the subject site,
6. Standard fire break orders of the area; and
7. AS3959 Construction of Buildings in Bushfire-Prone Areas.

### 1.4 Proposal details

The Site is located approximately 94 km South-East of the Perth CBD. As illustrated on Figure 1 – Site development the proposal seeks approval to improve truck weighing and grain sampling and storage facilities at the Dale gran receival site.

Proposed development includes the following:

- Construct a new section of internal road to connect existing internal roads.
- Remove the existing weighbridge and hut and sample platform/hut.
- Install a 36m long weighbridge and hut within the existing internal road.
- Install a slightly larger sample platform/hut within the existing and new internal road.
- Remove the 1.2m high wall frames from existing open bulkhead OBH/01.
- Cement stabilise a 2.2 m wide strip of gravel to 200 mm depth and compact where higher open bulkhead wall frames are to be placed.
- Install 1.8 m high wall frames in the same location of open bulkhead OBH/01 and extend one end by 8 meters.

It has been identified as being located within a bushfire prone area according to the most recent map published by the Department of Fire and Emergency Services (refer to Figure 3).

There are no relevant environmental considerations, including local reserves, State Forest, National park, wetlands, Bush Forever sites, etc. within the site or being affected by the development.

There are no known previous bushfire assessments that have been undertaken for the site.





1.4.2 Figure 2: Map of Bushfire Prone Areas for the subject site





## 2. Bushfire assessment Results

### 2.1 Assessment Inputs


The location and extent of the classifiable vegetation in relation to the proposed developments have been assessed and recorded in the attached BAL Assessment Report extract. The BAL Assessment Report is produced based on a methodology 1 assessment, with the vegetation being assessed “as is” in accordance with AS3959. The initial BAL rating is given in the table below.

**Table 2A:** Worst case BAL that applies to the site

| Plot | Vegetation Classification      | Effective Slope   | Separation (m) | BAL        |
|------|--------------------------------|-------------------|----------------|------------|
| 1    | Class B Woodland               | Downslope 1.9°    | 51.90          | BAL – 12.5 |
| 2    | Class B Woodland               | Flat land         | 56.30          | BAL – 12.5 |
| 3    | Class B Woodland               | Flat land/Upslope | <0m            | BAL – FZ   |
| 4    | Excludable – Clause 2.2.3.2(e) | -                 | -              | BAL – LOW  |
|      | Excludable – Clause 2.2.3.2(f) |                   |                |            |

**Table 2B:** Determined Bushfire Attack Level (BAL)

The Determined Bushfire Attack Level for the proposed development has been determined in accordance with clause 2.2.6 of AS 3959-2009 using the above analysis.



| Determined Bushfire Attack Level   |   |       |   | BAL – FZ   |
|--|---|-------|---|--|
| Photo ID:  | 5 | Plot: | 3 |  |
| Vegetation Classification or Exclusion Clause  |   |       |   |  |
| Class B Woodland - Woodland B-05   |   |       |   |  |
| Description / Justification for Classification   |   |       |   |  |
| Trees 10-30m high; 10-30% foliage cover dominated by eucalypts: understorey or low trees to tall shrubs typically dominated by Acacia, Callitris or Casuarina. |   |       |   |  |





**2.2.2 Vegetation Classification**

All vegetation within 100m of the site development was classified in accordance with Clause 2.2.3 of AS 3959-2009. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below.

|  |         |  |
|--|---------|--|
| Photo ID: 1  | Plot: 1 |    |
| <b>Vegetation Classification or Exclusion Clause</b>   |         |  |
| Class B Woodland - Woodland B-05   |         |  |
| <b>Description / Justification for Classification</b>  |         |  |
| Trees 10-30m high; 10-30% foliage cover dominated by eucalypts: understorey or low trees to tall shrubs typically dominated by Acacia, Callitris or Casuarina. |         |  |
| Photo ID: 2  | Plot: 1 |   |
| <b>Vegetation Classification or Exclusion Clause</b>   |         |  |
| Class B Woodland - Woodland B-05   |         |  |
| <b>Description / Justification for Classification</b>  |         |  |
| Trees 10-30m high; 10-30% foliage cover dominated by eucalypts: understorey or low trees to tall shrubs typically dominated by Acacia, Callitris or Casuarina. |         |  |
| Photo ID: 3  | Plot: 2 |  |
| <b>Vegetation Classification or Exclusion Clause</b>   |         |  |
| Class B Woodland - Woodland B-05   |         |  |
| <b>Description / Justification for Classification</b>  |         |  |
| Trees 10-30m high; 10-30% foliage cover dominated by eucalypts: understorey or low trees to tall shrubs typically dominated by Acacia, Callitris or Casuarina. |         |  |



|  |   |              |   |
|--|---|--------------|---|
| <b>Photo ID:</b>   | 4 | <b>Plot:</b> | 3 |
| <b>Vegetation Classification or Exclusion Clause</b>   |   |              |   |
| Class B Woodland - Woodland B-05   |   |              |   |
| <b>Description / Justification for Classification</b>  |   |              |   |
| Trees 10-30m high; 10-30% foliage cover dominated by eucalypts: understorey or low trees to tall shrubs typically dominated by Acacia, Callitris or Casuarina. |   |              |   |



|  |   |              |   |
|--|---|--------------|---|
| <b>Photo ID:</b>   | 5 | <b>Plot:</b> | 3 |
| <b>Vegetation Classification or Exclusion Clause</b>   |   |              |   |
| Class B Woodland - Woodland B-05   |   |              |   |
| <b>Description / Justification for Classification</b>  |   |              |   |
| Trees 10-30m high; 10-30% foliage cover dominated by eucalypts: understorey or low trees to tall shrubs typically dominated by Acacia, Callitris or Casuarina. |   |              |   |
| Plot 4 in the right hand side.   |   |              |   |



|  |   |              |   |
|--|---|--------------|---|
| <b>Photo ID:</b>   | 6 | <b>Plot:</b> | 3 |
| <b>Vegetation Classification or Exclusion Clause</b>   |   |              |   |
| Class B Woodland - Woodland B-05   |   |              |   |
| <b>Description / Justification for Classification</b>  |   |              |   |
| Trees 10-30m high; 10-30% foliage cover dominated by eucalypts: understorey or low trees to tall shrubs typically dominated by Acacia, Callitris or Casuarina. |   |              |   |
| Plot 4 in the foreground.  |   |              |   |





|   |   |              |   |
|---|---|--------------|---|
| <b>Photo ID:</b>  | 7 | <b>Plot:</b> | 4 |
| <b>Vegetation Classification or Exclusion Clause</b>                  |   |              |   |
| Excludable - 2.2.3.2(e) Non Vegetated Areas                           |   |              |   |
| Excludable - 2.2.3.2(f) Low Threat Vegetation                         |   |              |   |
| <b>Description / Justification for Classification</b>                 |   |              |   |
| Non vegetated area including roads, buildings and rocky outcrops.     |   |              |   |
| Low threat vegetation: grassland managed in a minimal fuel condition. |   |              |   |



|   |   |              |   |
|---|---|--------------|---|
| <b>Photo ID:</b>  | 8 | <b>Plot:</b> | 4 |
| <b>Vegetation Classification or Exclusion Clause</b>              |   |              |   |
| Excludable - 2.2.3.2(e) Non Vegetated Areas                       |   |              |   |
| Excludable - 2.2.3.2(f) Low Threat Vegetation                     |   |              |   |
| <b>Description / Justification for Classification</b>             |   |              |   |
| Non vegetated area including roads, buildings and rocky outcrops. |   |              |   |
| Low threat vegetation: nature strip.                              |   |              |   |



|   |   |              |   |
|---|---|--------------|---|
| <b>Photo ID:</b>  | 9 | <b>Plot:</b> | 4 |
| <b>Vegetation Classification or Exclusion Clause</b>              |   |              |   |
| Excludable - 2.2.3.2(e) Non Vegetated Areas                       |   |              |   |
| Excludable - 2.2.3.2(f) Low Threat Vegetation                     |   |              |   |
| <b>Description / Justification for Classification</b>             |   |              |   |
| Non vegetated area including roads, buildings and rocky outcrops. |   |              |   |
| Low threat vegetation: nature strip.                              |   |              |   |



### 3. Assessment against the Bushfire Protection Criteria

#### 3.1 Compliance







Each of the elements listed within Appendix 4 of the Guidelines for Planning in Bushfire Prone Areas has been addressed in this bushfire management plan as per the following table.

| Bushfire protection criteria                | Method of Compliance/Acceptable Solutions  | Proposed bushfire management strategies  |
|---|--|--|
| Element 1: Location                         | A1.1 Development location  | The site is located in an area subjects to BAL-FZ (refer to Table 2A and 2B).<br>However, it is demonstrated in Figure 3 that the risk around the proposed construction will be managed to achieve BAL-29 or less.   |
| Element 2: Siting and design of development | A2.1 Asset Protection Zone   | The APZ is to be contained solely within the boundaries of the lot except in instances where areas are managed in a low-fuel state on an ongoing basis. All future construction is to be surrounded by an APZ of a sufficient width to ensure the potential radiant heat impact of a bushfire does not exceed BAL-29.<br>Refer to Figure 3 which indicates the minimum width of the APZ to be maintained for BAL-29.<br>The standards for APZ from the <i>Guidelines for Planning in Bushfire Prone Areas</i> is attached as Appendix 1. |
| Element 3: Vehicular access                 | A3.1 Two access routes   | The existing road network demonstrates that access provided to the site is primarily via Mann Ave which connects to Westdale Rd giving a choice of two safe egress destinations to the East and West.<br>Both are available to all people at all times.  |
|   | A3.2 Public road   | All public roads are constructed as per the requirements of Table 6 Column 1 (attached as Appendix 2).   |
|   | A3.3 Cul-de-sac (including dead-end-road)  | N/A  |
|   | A3.4 Battle-axe  | N/A  |
|   | A3.5 Private driveway longer than 50m. A private driveway is to meet detailed requirements contained within the Guidelines.      | The site’s driveway is used by heavy vehicles and complies with the requirements of Table 6, Column 3.   |
|   | A3.6 Emergency access way  | N/A  |
|   | A3.7 Fire services access routes (perimeter roads)   | N/A  |
|   | A3.8 Firebreak width   | All rural properties equal to or less than 100 hectares in size are required to have constructed and maintained a 2.2 metre firebreak clear of all flammable material along all external boundaries or provision on the property of an operational independent mobile water filled firefighting unit with the water capacity of not less than 600 litres to be at the ready throughout the Prohibited and Restricted burning period.<br>Refer to the Shire’s requirements in Appendix 3.   |
| Element 4: Water                            | A4.1 Reticulated areas   | N/A  |
|   | A4.2 Non-reticulated areas   | N/A  |
|   | A4.3 Individual lots within non-reticulated areas (Only for use if creating 1 additional lot and cannot be applied cumulatively) | Existing water tank with 10,000LT dedicated for fire purposes at all times. Figure 3 illustrates the location and the turnaround design driveway for a type 3.4 fire appliance.  |





**Legend**

-  Subject land
-  Proposed Constructions
-  Sealed Acces
- 1** Notes
-  Asset Protection Zone
-  Water tank
-  Turnaround area

**Notes**

- 1) Woodland is the primary vegetation plot. The minimum width for the Asset Protection Zone is 14m. The vegetation in the APZ is to comply with Schedule 1 Element 2 of the Guidelines (attached in Appendix 1).
- 2) The existing driveways within the development meets Table 6 Column 3. The whole site is in a trafficable surface in compliance with Table 6 (i.e. hard gravel and bitumen surface).
- 3) 2.2 metre firebreak clear of all flammable material along all external boundaries or provision on the property of an operational independent mobile water filled firefighting unit with the water capacity of not less than 600 litres to be at the ready throughout the Prohibited and Restricted burning period.
- 4) The existing water tank is to provide 10,000LT dedicated for fire purposes with a turnaround area with a radius not less than 17.5m (alternative designs attached in Appendix 2).

Location Details: Westdale Road, CBH Site, Dale WA 6304  
 Local Government Area: Shire of Berveley  
 Assessment Date: 26.03.2019  
 Date of aerial photo: January 2005

Prepared by: James Tereciuk  
 Accreditation Level: Level 2 BPAD Bushfire  
 Accrediation Number: BPAD36529  
 Accrediation Expiry Date: February 2021

## 4. Responsibilities for Implementation and Management of the Bushfire Measures

| DEVELOPER/LANDOWNER – PRIOR TO SALE OR OCCUPANCY |   |
|--|---|
| No.  | Implementation Action   |
| 1  | For future construction: establish the Asset Protection (APZ) to the dimensions and standards stated in the BMP.  |
| 2  | Comply with the relevant local government annual firebreak notice issued under s33 of the Bush Fires Act 1954.  |
| 3  | Landowners/occupiers to thoroughly read this BMP. If there are any items which require clarification is it recommended that they contact the author of this report. |
| LANDOWNER/OCCUPIER – ONGOING MANAGEMENT          |   |
| No.  | Management Action   |
| 1  | Maintain the Asset Protection Zone to the dimensions and standard stated in the BMP.  |
| 2  | Maintain vehicular access routes within the site to the required surface condition and clearances .   |
| 3  | Local government to ensure the maintenance of public roads complies with the public road standard established in accordance with Table 6 (attached in Appendix 2).  |

To ensure that the above individuals/organisations are able to comply with the Bushfire Management Plan they are to be notified of their responsibilities by the developer and be given a copy of the endorsed Bushfire Management Plan.

This Bushfire Management Plan relates to a specific planning approval and should be referred to periodically as part of the owner's fire mitigation strategy. As time passes, any items found to require review due to changing circumstances are to be brought to the attention of the local government and the Bushfire Management Plan author.

### Certification by bushfire consultant

I James Terenciuk, certify that at the time of inspection, the BAL ratings contained within this BMP are correct; Clearance by local government is recommended.



James Terenciuk  
Level 2 BPAD Practitioner

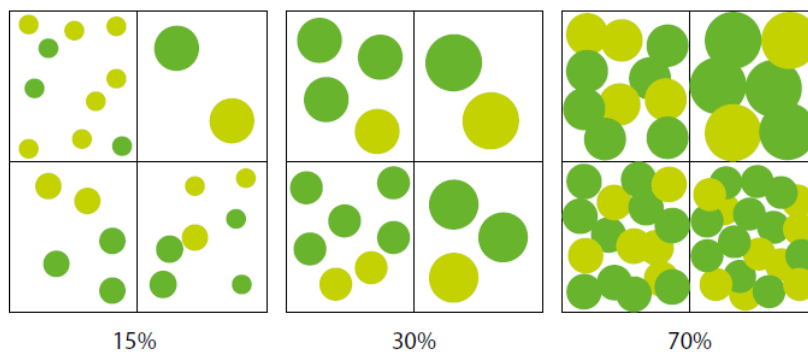
**Date: 10 October 2020**



## 5. Appendix 1: Schedule 1: Standard for Asset Protection Zones (Appendix 4 of the Guidelines)

- **Fences:** within the APZ are constructed from non-combustible materials (e.g. iron, brick, limestone, metal post and wire).  
It is recommended that solid or slatted non-combustible perimeter fences are used.
- **Objects:** within 10 metres of a building, combustible objects must not be located close to the vulnerable parts of the building i.e. windows and doors.
- **Fine Fuel load:** combustible dead vegetation matter less than 6 millimetres in thickness reduced to and maintained at an average of two tonnes per hectare.
- **Trees (> 5 metres in height):** trunks at maturity should be a minimum distance of 6 metres from all elevations of the building, branches at maturity should not touch or overhang the building, lower branches should be removed to a height of 2 metres above the ground and or surface vegetation, canopy cover should be less than 15% with tree canopies at maturity well spread to at least 5 metres apart as to not form a continuous canopy.

Figure 18: Tree canopy cover – ranging from 15 to 70 per cent at maturity



- **Shrubs (0.5 metres to 5 metres in height):** should not be located under trees or within 3 metres of buildings, should not be planted in clumps greater than 5m<sup>2</sup> in area, clumps of shrubs should be separated from each other and any exposed window or door by at least 10 metres. Shrubs greater than 5 metres in height are to be treated as trees.
- **Ground covers (<0.5 metres in height):** can be planted under trees but must be properly maintained to remove dead plant material and any parts within 2 metres of a structure, but 3 metres from windows or doors if greater than 100 millimetres in height. Ground covers greater than 0.5 metres in height are to be treated as shrubs.
- **Grass:** should be managed to maintain a height of 100 millimetres or less.

## 6. Appendix 2: Table 6 – Vehicular access technical requirements

| TECHNICAL REQUIREMENTS          | 1<br>Public<br>road | 2<br>Cul-de-sac | 3<br>Private<br>driveway | 4<br>Emergency<br>access way | 5<br>Fire service<br>access<br>routes |
|---------------------------------|---------------------|-----------------|--------------------------|------------------------------|---------------------------------------|
| Minimum trafficable surface (m) | 6*                  | 6               | 4                        | 6*                           | 6*                                    |
| Horizontal clearance (m)        | 6                   | 6               | 6                        | 6                            | 6                                     |
| Vertical clearance (m)          | 4.5                 | N/A             | 4.5                      | 4.5                          | 4.5                                   |
| Maximum grade <50 metres        | 1 in 10             | 1 in 10         | 1 in 10                  | 1 in 10                      | 1 in 10                               |
| Minimum weight capacity (t)     | 15                  | 15              | 15                       | 15                           | 15                                    |
| Maximum crossfall               | 1 in 33             | 1 in 33         | 1 in 33                  | 1 in 33                      | 1 in 33                               |
| Curves minimum inner radius (m) | 8.5                 | 8.5             | 8.5                      | 8.5                          | 8.5                                   |

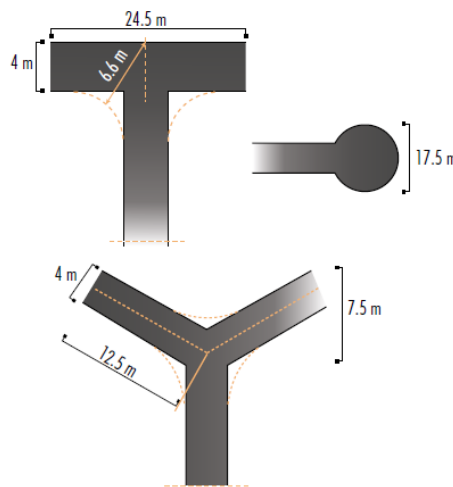
\*Refer to E3.2 Public roads: Trafficable surface

### E3.1 Two access route

Two different vehicular access routes are provided, both of which connect to the public road network, provide safe access and egress to two different destinations and are available to all residents/the public at all times and under all weather conditions.

### E3.2 Public road

*Trafficable surface:* Widths quoted for access routes refer to the width of the trafficable surface. A six metre trafficable surface does not necessarily mean paving width. It could, for example, include four metre wide having one metre wide constructed road shoulders. In special circumstances, where eight lots or less are being serviced, a public road with a minimum trafficable surface of four metres for a maximum distance of 90 metres may be provided subject to the approval of both the local government and Department of Fire and Emergency Services.



Turning areas to allow type 3.4 fire appliances to turn safely

## 7. Appendix 3: Shire of Beverley's Firebreak Order

(also available on their website)

### FIRE BREAK ORDER: BUSH FIRE ACT 1954

All owners and occupiers of land are required on or before 1 November every year to provide and thereafter maintain free of all inflammable material until 15 April of the following year, firebreaks as stipulated in the manner described in the following schedule

### SCHEDULE

#### RURAL LAND

**Small Rural Holdings:** All rural properties equal to or less than 100 hectares in size are required to have constructed and maintained a 2.2 metre firebreak clear of all flammable material along all external boundaries or provision on the property of an operational independent mobile water filled firefighting unit with the water capacity of not less than 600 litres to be at the ready throughout the Prohibited and Restricted burning period. Note: An exemption applies when the small landholding is managed by neighbouring/adjoining landholder for agricultural purposes and this information is to be provided to the Shire in writing by the landowner.

**Buildings and Haystacks:** A fire break of at least 4 metres wide and not more than 60 metres from the perimeter of all buildings (including temporary dwelling e.g. caravans) and/or haystacks or groups of buildings and/or haystacks so as to completely surround the building, haystacks and/or fuel dumps.

**Bulldozed Bush:** A fire break 20 metres wide shall be maintained immediately inside the external boundaries of all land which has been bulldozed, chained or prepared in any similar manner for clearing by burning (whether it is intended to burn the bush or not).

**Stationary Pumps/Motors:** A fire-break 4 metres wide shall be cleared and maintained around all stationary pumps and motors.

**Plantations:** All plantation firebreaks must be maintained. All new plantations and extensions to current plantations must have a minimum 6 metre firebreak installed on all boundaries of the plantation.

**Harvesting, Hay and Straw Baling Operations:** During the period when harvesting and hay / straw baling operations are being conducted, there shall be provided in the same paddock or within 400 metres of that paddock, an operational independent mobile firefighting unit having a water capacity of not less than 600 litres. The tank of the unit shall be kept full of water at all times during the harvest operations. The responsibility to supply the unit being that of the landowner.

**Operation Of Plant and Machinery:** During the restricted and prohibited burning times, ALL MACHINERY AND TRUCKS shall not be operated on rural land unless fitted with a fire extinguisher.

On days of HARVEST BANS there shall be no movement of any vehicles within paddocks.

There is a ban on the use of slashers or mowing equipment during the PROHIBITED BURNING PERIOD from the hours of 6am to 6pm except where the property is within a townsite and reticulated or irrigated OR for a property outside of a townsite where the area to be mowed or slashed is less than 1 hectare and contains a reticulation or irrigation sprinkler system that can be operated immediately.

**Paddock Burns:** At any time throughout the year, where a landowner intends to burn paddocks, the following must be provided to prevent the escape of fire:

A fire-break 2.2 metres wide clear of all inflammable material completely surrounding the area to be burnt.

An operational fire-fighting unit having a capacity of not less than 600 litres.

Permits to burn may be required. Contact your Fire Control Officer for details.

## **TOWNSITE LAND**

All lots with an area of 2.012ha (5 acres) or less, shall be clear of all flammable material or have grass mown to a height no greater than 15cm.

All lots or combination of lots that comprise of one holding and having an area greater than 2.012ha (5 acres) shall be either clear of all flammable material or have a firebreak 2.2 metres wide free of all flammable material inside and along all external boundaries.

## **GENERAL INFORMATION**

**Fuel Dumps:** You shall remove all flammable materials or material likely to become flammable during summer from land occupied by bulk storage tanks and/or drums used for storage of liquid fuel whether the bulk storage tanks and/or drums contain fuel or not. This includes the land on which the ramps for holding the drums are constructed. The flammable free ground must be maintained to a distance of 4 metres outside the perimeter of any drum, stack of drums or drum ramp or bulk storage tank.

**Variations to Requirements:** For permission to provide fire-breaks in alternative positions or by an alternative date or to take alternative action to abate fire hazards on the land, an application must be made no later than 14 days prior to the date that fire-breaks are required. If permission is not granted by the Shire or its duly authorised officer, you shall comply with the requirements of this notice.

**Penalty for Failure to Comply:** The penalty for failing to comply with this notice is a fine of up to \$1000. If the owner or occupier fails to carry out the works required by this Fire-break Order the Shire of Beverley may enter the land and prepare the fire-breaks at the cost of the owner or occupier.

**Burning:** If the requirements of this notice are carried out for burning, such burning must be in accordance with the relevant provisions of the Bush Fires Act 1954.

During the Easter Holiday Period no person shall conduct paddock burns or burning of bushland, commencing 12 noon Thursday prior to Good Friday.

**Angle Grinders and Welders:** The use of Angle Grinders, Welders or similar equipment should be undertaken with extreme caution and there shall be in attendance an operational fire fighting appliance. (The use of this equipment is not permitted on days of which a fire ban has been declared.)

# **Variation Agreement – MOU Recycled Water Supply**

**Water Corporation**

ABN 28 003 434 917

and

**Shire of Beverley**

ABN 33 895 807 275

---

## This Agreement

is made on 2020 between the following parties:

1. **Water Corporation**  
a statutory body corporate created by the *Water Corporation Act 1995 (WA)*, of John Tonkin Water Centre, 629 Newcastle Street, Leederville, Western Australia (**Corporation**)
2. **Shire of Beverley**  
a local government authority created under the *Local Government Act 1995 (WA)*, of 136 Vincent Street, Western Australia (**Shire**)

## Recitals

- A. The Corporation and Shire entered into the memorandum of understanding for the supply of recycled water on 10 November 2010 (**MOU**).
- B. The Corporation and Shire have agreed to vary the MOU as follows.

## The parties agree

---

## 1 Definitions and Interpretation

### 1.1 Definitions

Except as defined in this Variation, the terms used in this Variation shall have meaning given to them in the MOU; and

**MOU** has the meaning given to it in the Recitals;

**Variation** means this Variation Agreement; and

**Variation Commencement Date** is 10 November 2020.

### 1.2 Interpretation

The following rules apply in interpreting this Variation, except where the context makes it clear that a rule is not intended to apply:

- (i) Headings are for convenience only and do not affect interpretation.
- (ii) Where an expression is defined in this Variation, another part of speech, or grammatical form of that expression, will have a corresponding meaning.
- (iii) The fact that the Corporation prepared this Variation will not be taken into account as a basis for interpreting this Variation, or any provisions of it, adversely to the Corporation's interest.
- (iv) A reference to this Variation, or to any other instrument, includes any amendment, variation, novation, or replacement, of it.

## 2 Variation of the MOU

### 2.1 Variation

The Corporation and Shire mutually agree that:

- (i) on and from the Variation Commencement Date the MOU will be varied as set out in clause 3;
- (ii) except as varied by this clause, the MOU remains in full force and effect; and
- (iii) on and with effect from the Variation Commencement Date, each party is bound by the MOU as varied by this Variation.

### 2.2 Variations not to affect validity, rights, obligations

- (i) The variations to the MOU do not affect the validity or enforceability of the MOU.
- (ii) Except as expressly provided in this Variation, nothing in this Variation:
  - (1) prejudices or adversely affects any right, power, authority, discretion or remedy arising under the MOU before the Variation Commencement Date; or
  - (2) discharges, releases or otherwise affects any liability or obligation arising under the MOU before the Variation Commencement Date.

## 3 Variations

### 3.1 Effective Date

This Variation will take effect on the Variation Commencement Date.

### 3.2 Schedule 1 – ‘Particulars’ to be varied:

The words:

*Term 10 years with effect from the date of execution of this MoU*

Shall be deleted from the MoU and replaced with the following:

*Term 12 years with effect from the date of execution of this MoU*

### 3.3 Schedule 2 – ‘Quality Standards of Recycled Water’ to be varied:

The following table:

| Parameter                        | Range | Unit  |
|----------------------------------|-------|-------|
| Ph                               |       | 6-9   |
| Total Dissolved Solids (derived) | mg/L  | <1500 |

|  |         |       |
|--|---------|-------|
| Total Suspended Solids                   | No unit | <20   |
| Biochemical Oxygen Demand (BOD) filtered | mg/L    | <20   |
| Total Phosphorous                        | mg/L    | <20   |
| E coli                                   | mg/L    | <1000 |
| Total Nitrogen                           | mg/L    | <60   |

shall be deleted from the MOU and the following words inserted in its place;

| Parameter                                     | Value     | UOM       |
|---|-----------|-----------|
| Total Dissolved Solids by Evaporation (TDSE)* | <1500     | mg/L      |
| pH  | 6.5 – 9.0 | No unit   |
| Total Chlorine (TCl)                          | >0.2      | mg/L      |
| E.coli  | <1000     | MPN/100mL |
| Total Nitrogen                                | <60       | mg/L      |
| Total Phosphorus                              | <20       | mg/L      |

## 4 Miscellaneous

### 4.1 Governing Law

This Variation is governed by the laws of the Western Australia and each party irrevocably and unconditionally submit to the jurisdiction of the courts of Western Australia.

### 4.2 Further assurances

Each party will promptly sign all documents, and do all things, that the other party from time to time reasonably requires of it, to effect, perfect or complete the provisions of this Variation.

### 4.3 Costs

Each party will pay its own costs in respect of the negotiation, preparation and execution of this Variation.



**Executed as an Agreement**

**SIGNED FOR AND ON BEHALF of SHIRE OF BEVERLEY ABN 33 895 807 275 by its authorised Representative**

---

(insert title)

---

Name

---

In the presence of

---

Name

---

Witness Title and Address

**SIGNED FOR AND ON BEHALF of WATER CORPORATION by its authorised Representative:**

---

(insert title)

---

Name

---

In the presence of

---

Name

---

Witness Title and Address